

ARCHITECTURAL DRAWING LIST	
A1.01	Project Data and Notes
A1.02	Scale Studies
A0.10	Context Plan
A0.11	Site Plan
A2.00	Level 0 Plan
A2.01	Level 1 Plan
A2.02	Level 2 Plan
A2.03	Level 3 Plan
A2.04	Roof Plan
A3.00	Building Elevations
A3.01	Partial Elevations
A4.00	Sections E-W
A4.01	Sections N-S
A4.02	Sections N-S

UBC Recreation Centre North

6140 Student Union Blvd.

Issued for Development Permit r1

Feb 25, 2022

CLIENT	ARCHITECT	CONTRACTOR	STRUCTURAL	MECHANICAL	ELECTRICAL	LANDSCAPE	CIVIL	BUILDING ENVELOPE	GEOTECHNICAL	BUILDING CODE
UBC PROPERTIES TRUST	SHAPE ARCHITECTURE	ETRO CONSTRUCTION	WSP	AME	PBX	PFS	WSP	LDR	GEOPACIFIC	GHL
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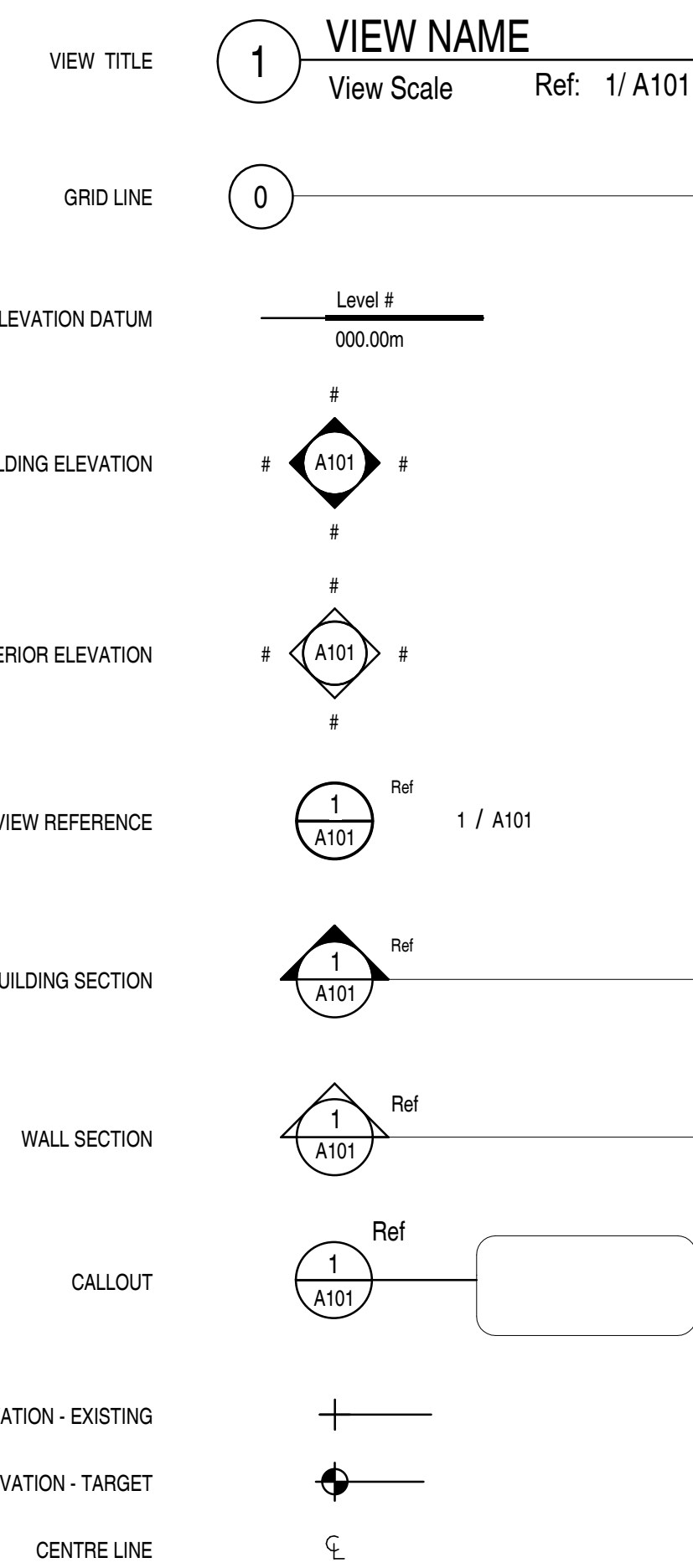


PROJECT DATA

SITE  
PROJECT NAME: UBC RECREATION CENTRE NORTH  
CIVIC ADDRESS: 6140 STUDENT UNION BLVD.  
LEGAL ADDRESS: DL 3044, Group 1, NWD PID 015-891-909  
ZONING: N/A  
SITE AREA: ???

BUILDING  
GROSS BUILDING AREA: 9830 m2  
MAJOR OCCUPANCY: A-2 (Article 3.2.2.24)  
NUMBER OF STORIES: UP TO 6 STOREYS  
SPRINKLERED: YES  
CONSTRUCTION TYPE: NON-COMBUSTIBLE

SYMBOLS LEGEND



AREA TAG	NAME	NAME
CEILING TAG	11	150m2
CURTAIN PANEL TAG	GLA	
DETAIL ITEM	TYPE NAME	
DOOR TAG	DRB	
FLOOR TAG	FLA	
FLOOR FINISH TAG	FFA	
KEYNOTE TAG	?	
MATERIAL TAG	?	
CASEWORK TAG	11	
PARKING TAG	11	
PLUMBING FIXTURE TAG	22	
REVISION TAG	22	
ROOF TAG	FLA	
ROOM TAG	NAME	NAME
SPECIALTY EQUIPMENT TAG	22	
STAIR TAG	20 R @180mm	STAIR #1
WALL TAG	EWY	
WINDOW TAG	WX	

ABBREVIATIONS

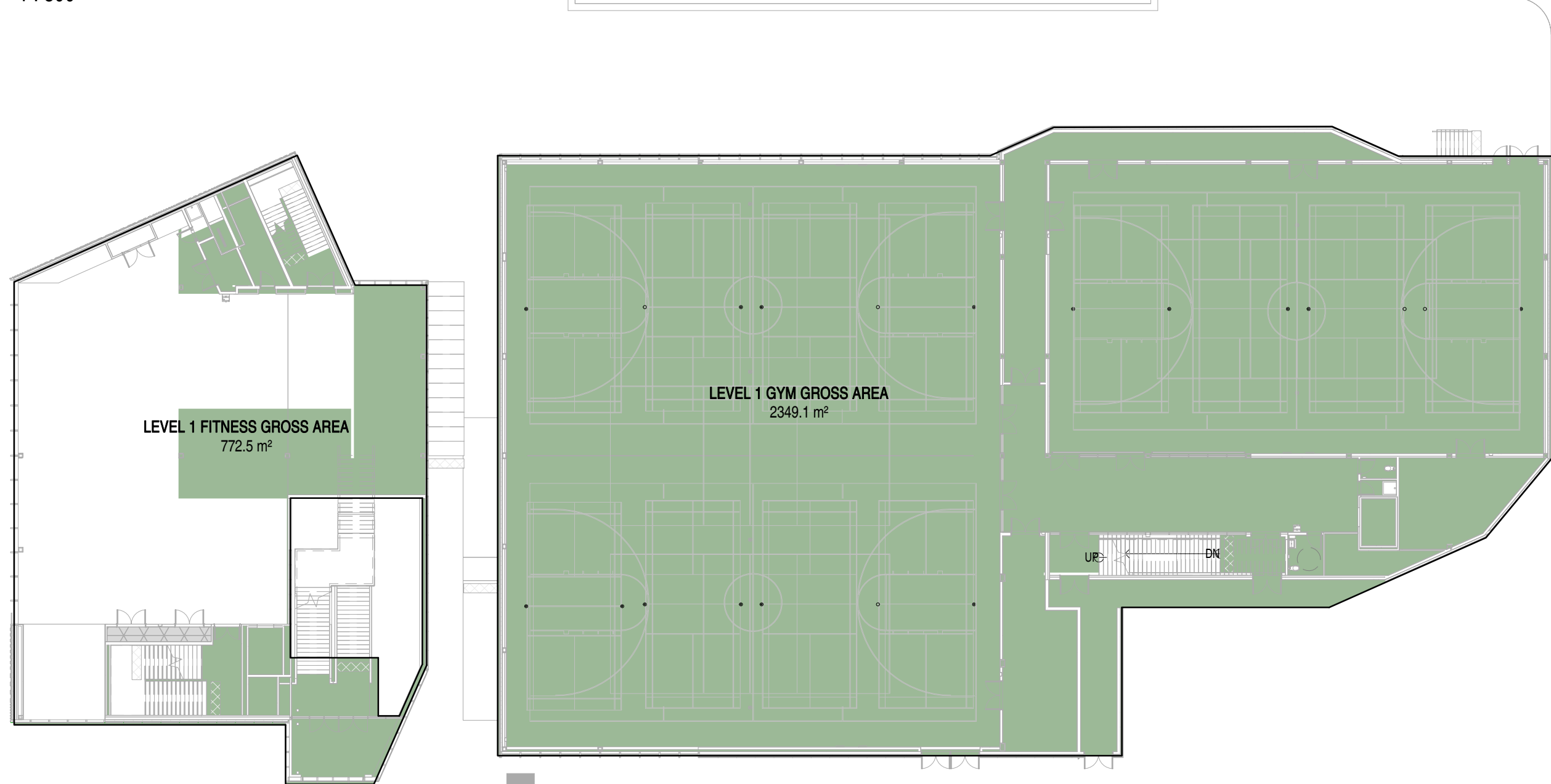
Anno	Description	Anno	Description
A.F.F	Above Finished Floor	Lg.	Long
A.P.	Access Panel	Loc.	Location
Adj.	Adjustable	M.O.	Masonry Opening
Alum.	Aluminum	Max.	Maximum
Anod.	Anodized	Mech.	Mechanical
Arch.	Architectural	Min.	Minimum
BB	Back to Back	MT	Metal
B/S	Both Sides	N.I.C.	Not in Contact
Bt.	Board	N.T.S.	Not to Scale
Bldg	Building	NA	Not Applicable
Bkg	Blocking	No.	Number
Bst. or Blm	Bottom	O.C.	On Centre
C.B.	Catch Basin	O.D.	Overflow Drain
C.G.	Corner Guard	O.H.	Overhead
C.I.P.	Cast in Place	Oppg	Opening
C.J.	Control Joint	Opp.	Opposite
C.O.	Concrete Opening	P.Lam	Plastic Laminate
CW	Complete with	P.T.	Pressure Treated
Ch'd Pl.	Checkered Plate	Pl.	Plate
Cul.	Culmination	Pl.	Plastic
Conc.	Concrete	Pl.	Plate
Cont.	Continuous	R.B.	Rubber Base
CPT	Carpet	R.C.B.	Rubber Cove Base
Dm.	Dimension	R.D.	Rough Drain
Dn.	Down	R.O.	Rough Opening
Dwg	Drawing	R.W.L.	Rain Water Leader
E.J.	Expansion Joint	Reinf.	Reinforced
EQ	Each Side	Req.	Required
EL. OR ELEV.	Elevation	Rev.	Reverse
Elec.	Electrical	Rm.	Room
Eq.	Equal	S.A.M.	Self Adhesive Air/Vapour Barrier Membrane
Equip.	Equipment	S.S.	Stainless Steel
Exp.	Exposed	Sect.	Section
F.D.	Floor Drain	Sim.	Similar
F.E.	Fire Extinguisher	Spec.	Specification
F.E.C.	Fire Extinguisher Cabinet	St.	Steel
F.F.	Finished Floor	St. or SLJ	Standard
Fin.	Finish	Std.	Standard
Fl.	Floor	Struct.	Structural
G.B.	Gypsum board	T.O.	Top of
GA.	Gauge	Typ.	Typical
Galv.	Galvanized	UN OR UN.O	Unless Noted Otherwise
Gl.	Glass	US	Underneath
H.B.	Hose Bib	Vert.	Vertical
H.S.S.	Hollow Steel Section	W/	With
Horiz.	Horizontal	W/O	Without
I.D.	Inside Diameter		
Insul.	Insulation		

Room Area Schedule			
Department	Level	Name	Area
	Level 0 East	STORAGE	9.8 m²
	Level 0 East	MTG - LARGE 1	41.6 m²
	Level 0 West	ELEC. RISER	1.8 m²
	Level 0 West	STORAGE	9.1 m²
	Level 0 West	STAIR 2	25.0 m²
	Level 0 West	MECH. CLOSET	6.3 m²
	Level 2	ELEC. RISER	1.4 m²
7			35.0 m²
ADMINISTRATION	Level 0 East	KITCHEN + LOUNGE	38.8 m²
ADMINISTRATION	Level 0 East	MTG - SMALL 1	9.6 m²
ADMINISTRATION	Level 0 East	PRIVATE OFFICE	10.3 m²
ADMINISTRATION	Level 0 East	OPERATIONS MANAGER	10.1 m²
ADMINISTRATION	Level 0 East	FACILITY MANAGER	9.8 m²
ADMINISTRATION	Level 0 East	PHYSICAL ACTIVITY COMMUNAL WORKSPACE	34.8 m²
ADMINISTRATION	Level 0 West	STOR - PA	12.9 m²
ADMINISTRATION	Level 2	MTG - SMALL 2	9.0 m²
ADMINISTRATION	Level 3	DIRECTOR'S OFFICE	11.2 m²
ADMINISTRATION	Level 3	FITNESS PROGRAMMER	11.2 m²
ADMINISTRATION	Level 3	WORKSTATIONS	18.0 m²
ADMINISTRATION: 11			175.7 m²
BUILDING SYSTEMS	Level 0 East	SHAFT B	10.8 m²
BUILDING SYSTEMS	Level 0 East	MAIN ELEC. ROOM	19.7 m²
BUILDING SYSTEMS	Level 0 East	MAIN COMM. ROOM	10.9 m²
BUILDING SYSTEMS	Level 0 East	BACK OF HOUSE	34.3 m²
BUILDING SYSTEMS	Level 0 East	CUSTODIAL	28.4 m²
BUILDING SYSTEMS	Level 0 East	MAIN MECH. ROOM	93.7 m²
BUILDING SYSTEMS	Level 0 East	STOR - MP1	13.8 m²
BUILDING SYSTEMS	Level 0 West	SUB ELEC	19.2 m²
BUILDING SYSTEMS	Level 0 West	STOR	6.8 m²
BUILDING SYSTEMS	Level 0 West	CUSTODIAL	3.8 m²
BUILDING SYSTEMS	Level 1 East	CUSTODIAL	2.2 m²
BUILDING SYSTEMS	Level 1 West	SUB COMM	5.7 m²
BUILDING SYSTEMS	Level 1 West	SUB ELEC	10.3 m²
BUILDING SYSTEMS	Level 1 West	SHAFT A	5.4 m²
BUILDING SYSTEMS	Level 1 West	CUSTODIAL	2.2 m²
BUILDING SYSTEMS	Level 2	EXTERIOR MECH. SPACE	111.7 m²
BUILDING SYSTEMS	Level 2	CUSTODIAL	4.9 m²
BUILDING SYSTEMS	Level 2	SHAFT A	5.4 m²
BUILDING SYSTEMS	Level 2	BUILDING STORAGE	16.2 m²
BUILDING SYSTEMS	Level 2	STOR	7.7 m²
BUILDING SYSTEMS	Level 2	SUB COMM	6.3 m²
BUILDING SYSTEMS	Level 2	ELEC. CLOS.	2.3 m²
BUILDING SYSTEMS	Level 2	SHAFT B	6.5 m²
BUILDING SYSTEMS	Level 3	MECH	224.4 m²
BUILDING SYSTEMS	Level 3	SUB ELEC	6.4 m²
BUILDING SYSTEMS	Level 3	SUB COMM	2.0 m²
BUILDING SYSTEMS	Level 3	SHAFT A	11.4 m²
BUILDING SYSTEMS	Level 3	CUSTODIAL	7.7 m²
BUILDING SYSTEMS: 29			882.0 m²
CHANGE ROOMS	Level 0 East	CHANGEROOM - MALE	73.7 m²
CHANGE ROOMS	Level 0 East	CHANGEROOM - FEMALE	76.5 m²
CHANGE ROOMS	Level 0 East	CHANGEROOM - UNIVERSAL	382.2 m²
CHANGE ROOMS: 3			512.4 m²
CIRCULATION	Level 0 East	STAIR 3	20.9 m²
CIRCULATION	Level 0 East	ELEV. 3	8.7 m²
CIRCULATION	Level 0 East	WEST VEST.	53.0 m²
CIRCULATION	Level 0 East	EAST LOBBY	297.1 m²
CIRCULATION	Level 0 East	ELEV. MACHINE ROOM	5.1 m²
CIRCULATION	Level 0 West	STAIR 1	31.0 m²
CIRCULATION	Level 0 West	WEST LOBBY	66.4 m²
CIRCULATION	Level 0 West	NORTH VEST.	139.3 m²
CIRCULATION	Level 0 West	WEST CIRCULATION	75.5 m²
CIRCULATION	Level 0 West	NORTH ENTRANCE	34.6 m²
CIRCULATION	Level 0 West	ELEV. 2	4.4 m²
CIRCULATION	Level 1 East	STAIR 3	25.9 m²
CIRCULATION	Level 1 East	ELEV. 3	6.5 m²
CIRCULATION	Level 1 East	UPPER LOBBY	11.7 m²
CIRCULATION	Level 1 East	SOUTH VEST.	23.1 m²
CIRCULATION	Level 1 East	SHAFT B	11.6 m²
CIRCULATION	Level 1 East	UA WC	5.9 m²
CIRCULATION	Level 1 East	ELEV. 2	4.4 m²
CIRCULATION	Level 1 West	STAIR 1	40.1 m²
CIRCULATION	Level 1 West	STAIR 2	23.8 m²
CIRCULATION	Level 1 West	ELEV. 2	4.4 m²
CIRCULATION	Level 2	STAIR A	40.0 m²
CIRCULATION	Level 2	STAIR B	23.8 m²
CIRCULATION	Level 2	STAIR 3	23.3 m²
CIRCULATION	Level 2	ELEV. 3	6.5 m²
CIRCULATION	Level 2	CIRCULATION	156.7 m²
CIRCULATION	Level 3	STAIR 1	38.0 m²
CIRCULATION	Level 3	STAIR 2	23.8 m²
CIRCULATION	Level 3	ELEV. 1	6.5 m²
CIRCULATION: 29			1126.8 m²
FITNESS SPACES	Level 0 West	FITNESS	340.2 m²
FITNESS SPACES	Level 1 West	FITNESS	559.6 m²
FITNESS SPACES	Level 2	FITNESS	582.2 m²
FITNESS SPACES	Level 3	PT STUDIO	103.4 m²
FITNESS SPACES	Level 3	STORAGE	6.8 m²
FITNESS SPACES	Level 3	FITNESS	670.2 m²
FITNESS SPACES	Level 3	CONSULT ROOM	14.4 m²
FITNESS SPACES: 7			2276.8 m²
FRONT OF HOUSE	Level 0 East	CASH OFFICE	4.4 m²
FRONT OF HOUSE	Level 0 East	EAST RECEPTION	54.1 m²
FRONT OF HOUSE	Level 0 East	FIRST AID ROOM	7.5 m²
FRONT OF HOUSE	Level 0 East	UA FIRST AID W/C	4.9 m²
FRONT OF HOUSE	Level 0 West	WEST RECEPTION	19.0 m²
FRONT OF HOUSE	Level 0 West	TOWEL	13.5 m²
FRONT OF HOUSE	Level 2	L2 RECEPTION	11.5 m²
FRONT OF HOUSE: 7			115.0 m²
GROSS BUILDING SYSTEM AREAS	Level 0 East	UA WC	6.4 m²
GROSS BUILDING SYSTEM AREAS	Level 1 East	WC	3.0 m²
GROSS BUILDING SYSTEM AREAS	Level 2	WC	4.3 m²
GROSS BUILDING SYSTEM AREAS	Level 2	ELEV. MACHINE ROOM	6.3 m²
GROSS BUILDING SYSTEM AREAS	Level 2	UNIVERSAL WC	5.5 m²
GROSS BUILDING SYSTEM AREAS	Level 2	UA WC	5.1 m²
GROSS BUILDING SYSTEM AREAS: 6			30.7 m²
GYMNASIUM	Level 0 East	EVENT STORAGE	68.2 m²
GYMNASIUM	Level 1 East	GYMNASIUM 1	589.0 m²
GYMNASIUM	Level 1 East	GYMNASIUM 3	582.1 m²
GYMNASIUM	Level 1 East	GYMNASIUM 2	597.3 m²
GYMNASIUM	Level 1 East	STOR - GYM 2	58.4 m²
GYMNASIUM	Level 1 East	STOR - GYM 3	40.3 m²
GYMNASIUM	Level 1 East	STOR - GYM 1	76.6 m²
GYMNASIUM	Level 2	STOR - MP3	13.9 m²
GYMNASIUM: 8			2043.7 m²
MECH	Level 0 West	MECH. CLOSET	3.1 m²
MECH	Level 1 West	MECH. CLOSET	2.8 m²
MECH	Level 1 West	MECH. CLOSET	6.3 m²
MECH	Level 2	MECH. CLOSET	6.3 m²
MECH: 4			18.5 m²
OUTDOOR FUNCTIONAL SPACE	Level 3	OUTDOOR FUNCTIONAL	118.6 m²
OUTDOOR FUNCTIONAL SPACE: 1			118.6 m²
PROGRAMMED CIRCULATION	Level 0 East	EAST CIRCULATION	228.5 m²
PROGRAMMED CIRCULATION	Level 0 East	SERVICE VESTIBULE	4.4 m²
PROGRAMMED CIRCULATION	Level 1 East	GYMNASIUM LOBBY	123.1 m²
PROGRAMMED CIRCULATION: 3			356.0 m²
PUBLIC FITNESS SPACES	Level 0 East	MULTIPURPOSE ROOM 2	286.3 m²
PUBLIC FITNESS SPACES	Level 0 East	MULTIPURPOSE ROOM 1	254.4 m²
PUBLIC FITNESS SPACES	Level 0 East	STOR - MP2	20.4 m²
PUBLIC FITNESS SPACES	Level 2	TRACK	1159.9 m²
PUBLIC FITNESS SPACES: 4			1721.0 m²
Grand total: 119			9271.9 m²

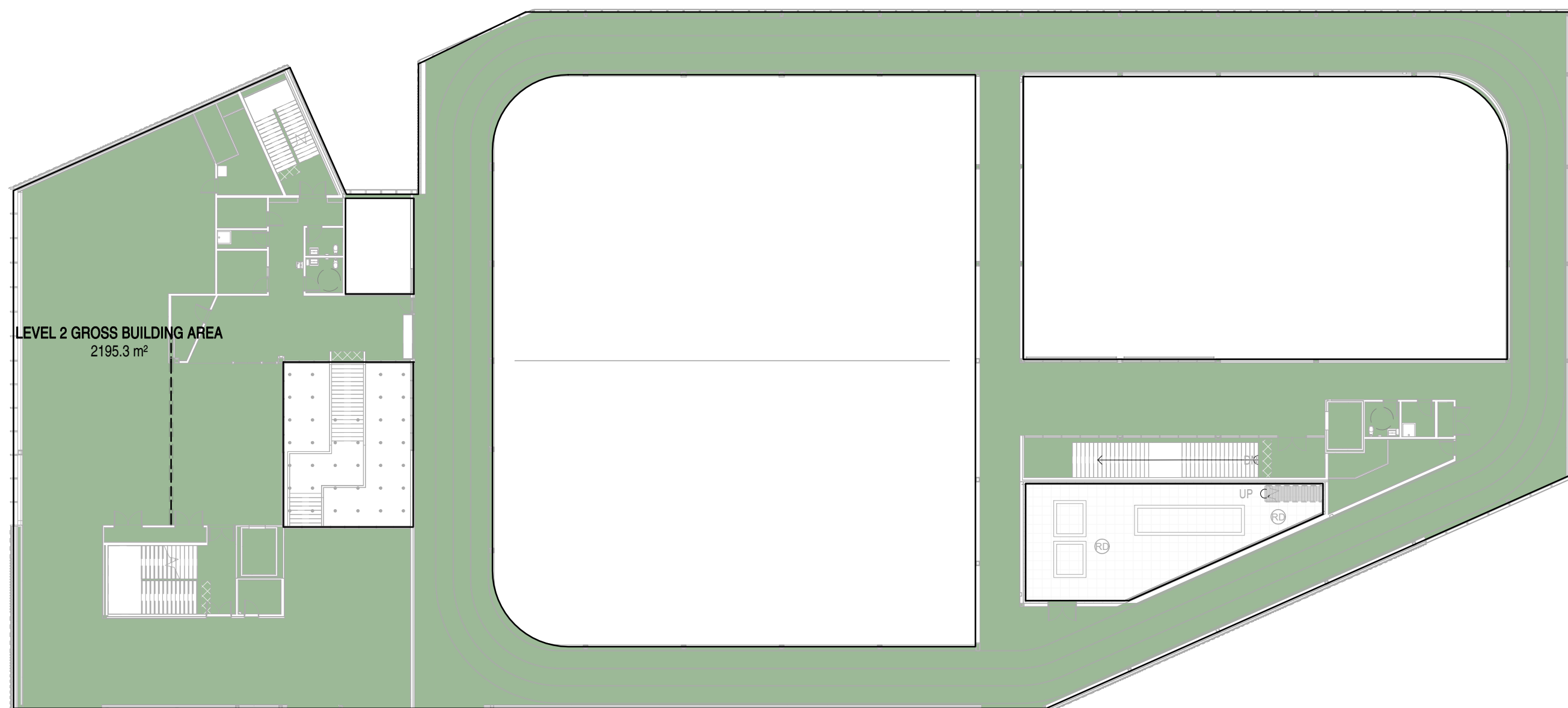
Gross Building Area



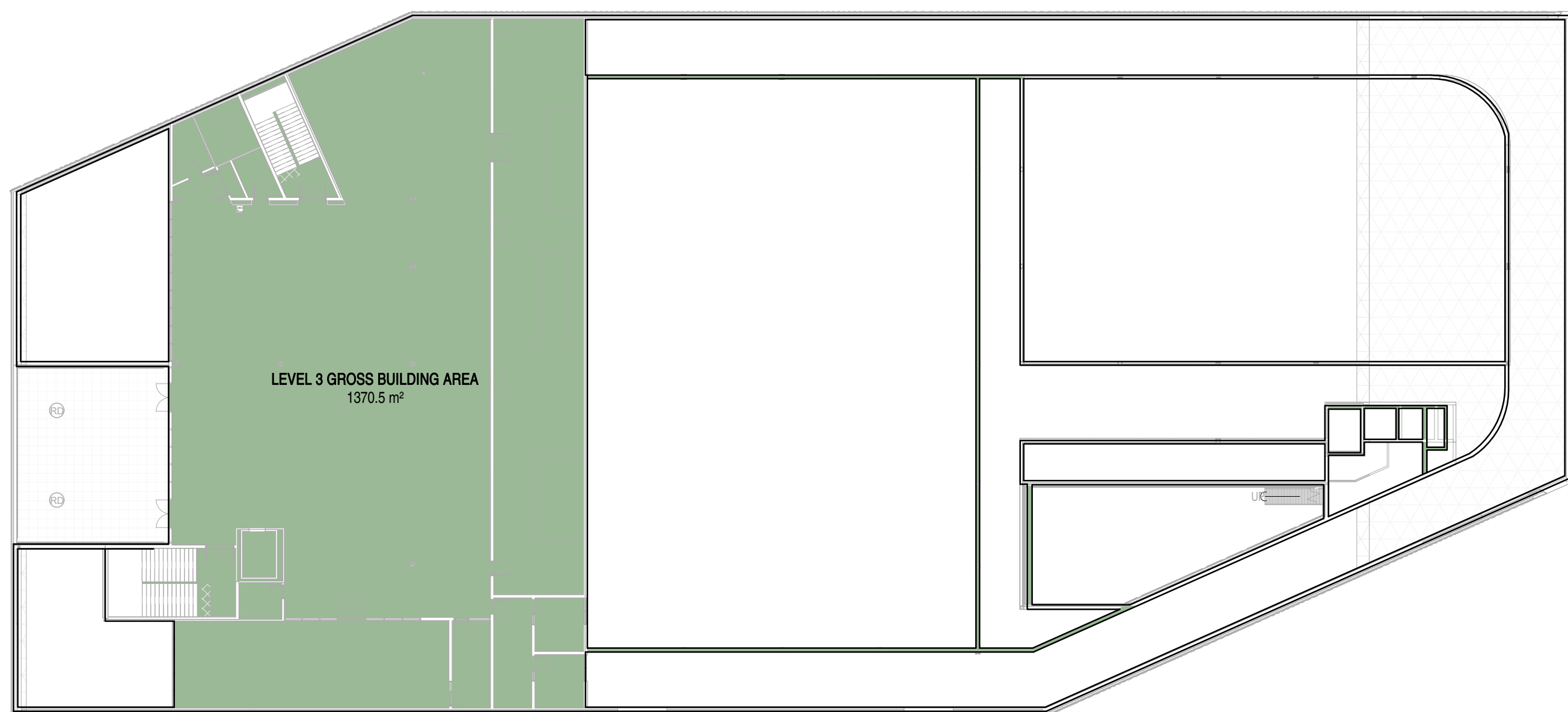
1 Level 0 - Gross Building Area  
1 : 300



2 Level 1 - Gross Building Area  
1 : 300



3 Level 2 - Gross Building Area  
1 : 300



4 Level 3 - Gross Building Area  
1 : 300

Gross Building Area		
Level	Custom Area Type	Area
Level 0 East	Gross Building Area	3190.4 m²
Level 1 East	Gross Building Area	2349.1 m²
Level 2	Gross Building Area	2195.3 m²
Level 3	Gross Building Area	1370.5 m²
Grand total		9877.7 m²

STAMP

ISSUED / REVISIONS

NO	DESCRIPTION	DATE
3	Issued for 66% DD	210630
4	Issued for 100% DD	210730
5	60% CD Draft For Review	211201
7	Issued for 60% CD	211217
8	Issued for Pre-Tender Costing	211217
9	Issued for Development Permit	220225

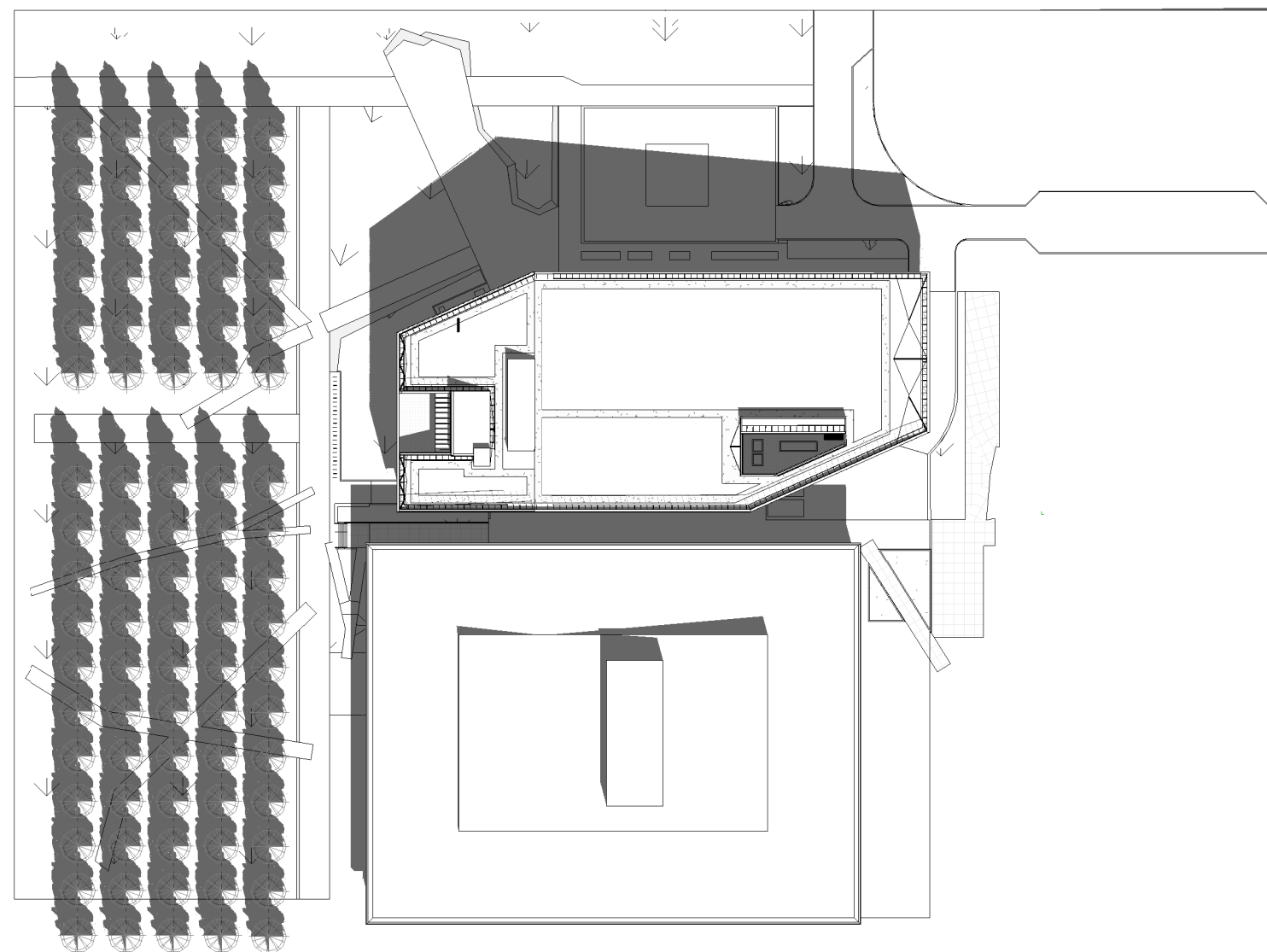
UBC Recreation Centre  
North

6140 Student Union Blvd.

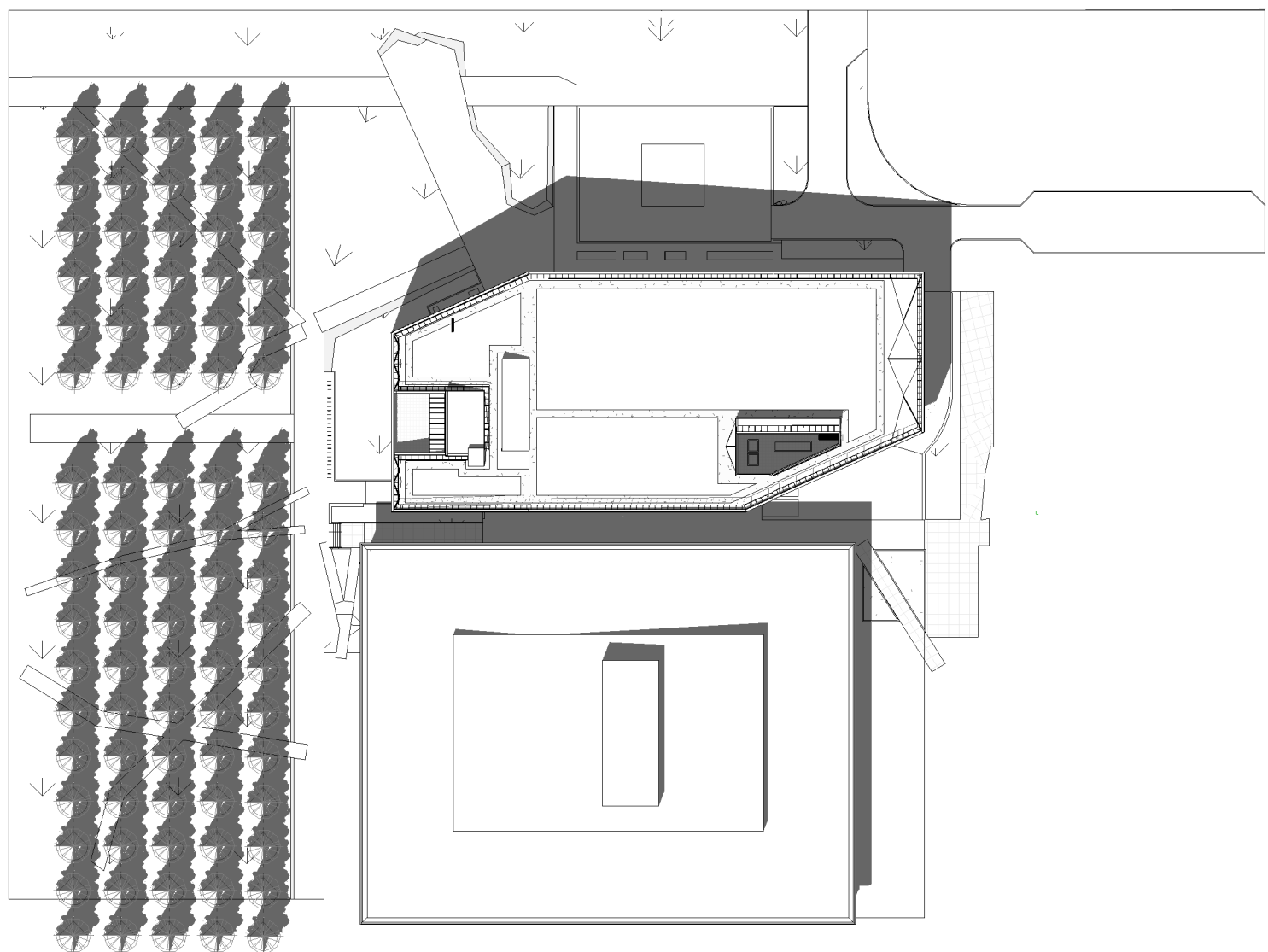
Project Data and Notes

DATE	Feb 25, 2022
DRAWN BY	
CHECKED BY	
SCALE	As indicated
JOB NUMBER	2008

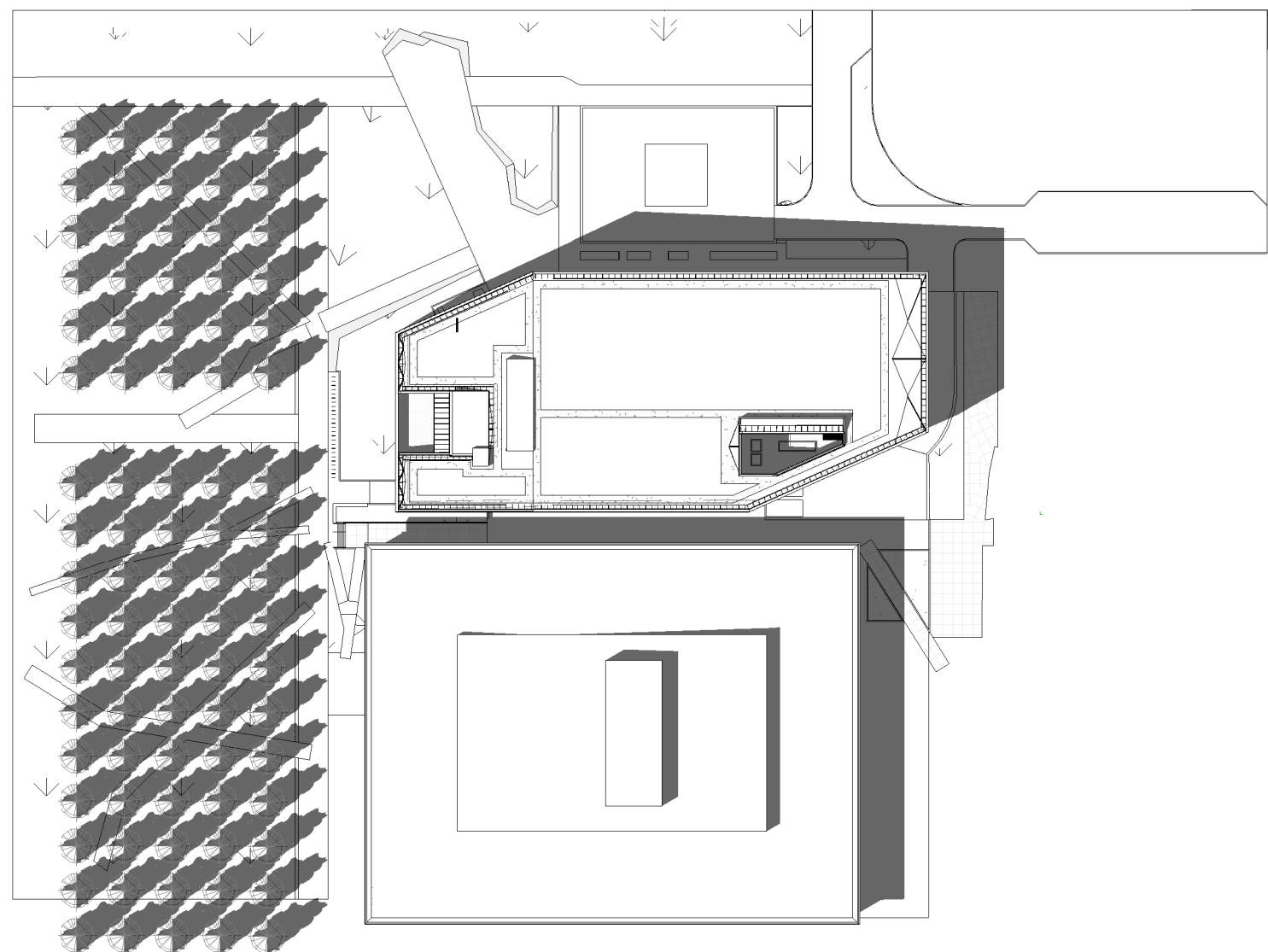




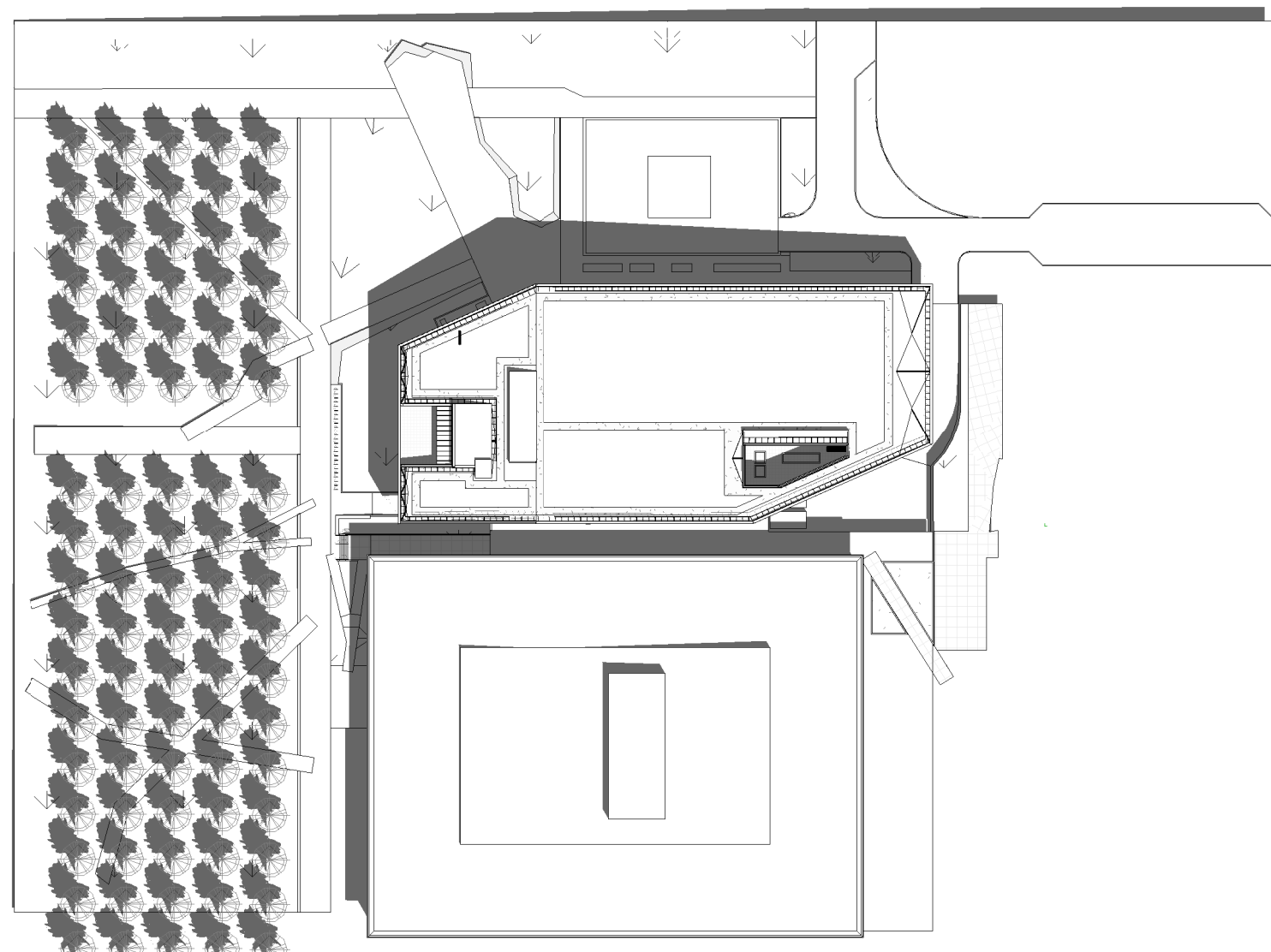
1 Winter Solstice - 10am  
1 : 1250



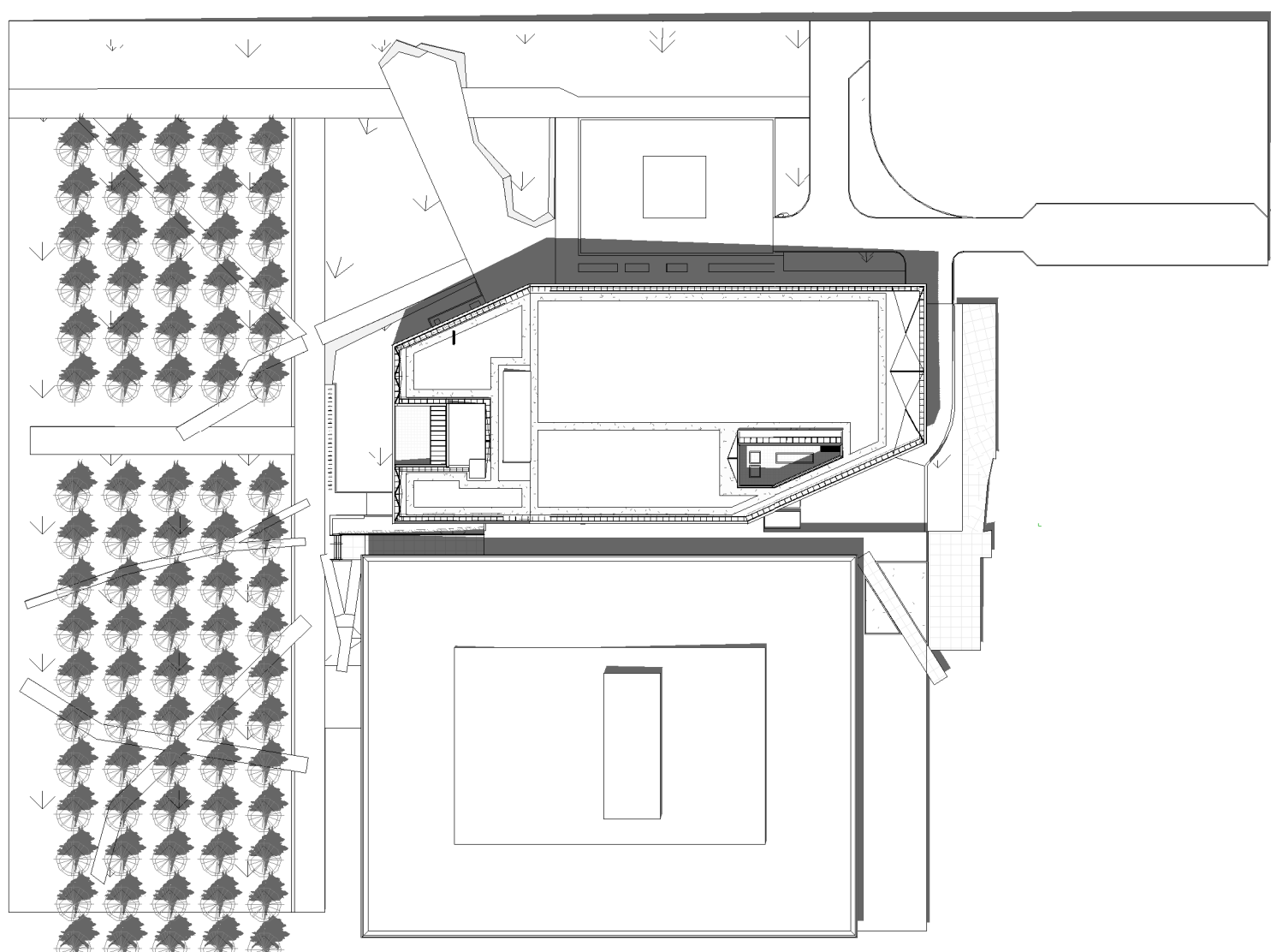
2 Winter Solstice - 12pm  
1 : 1250



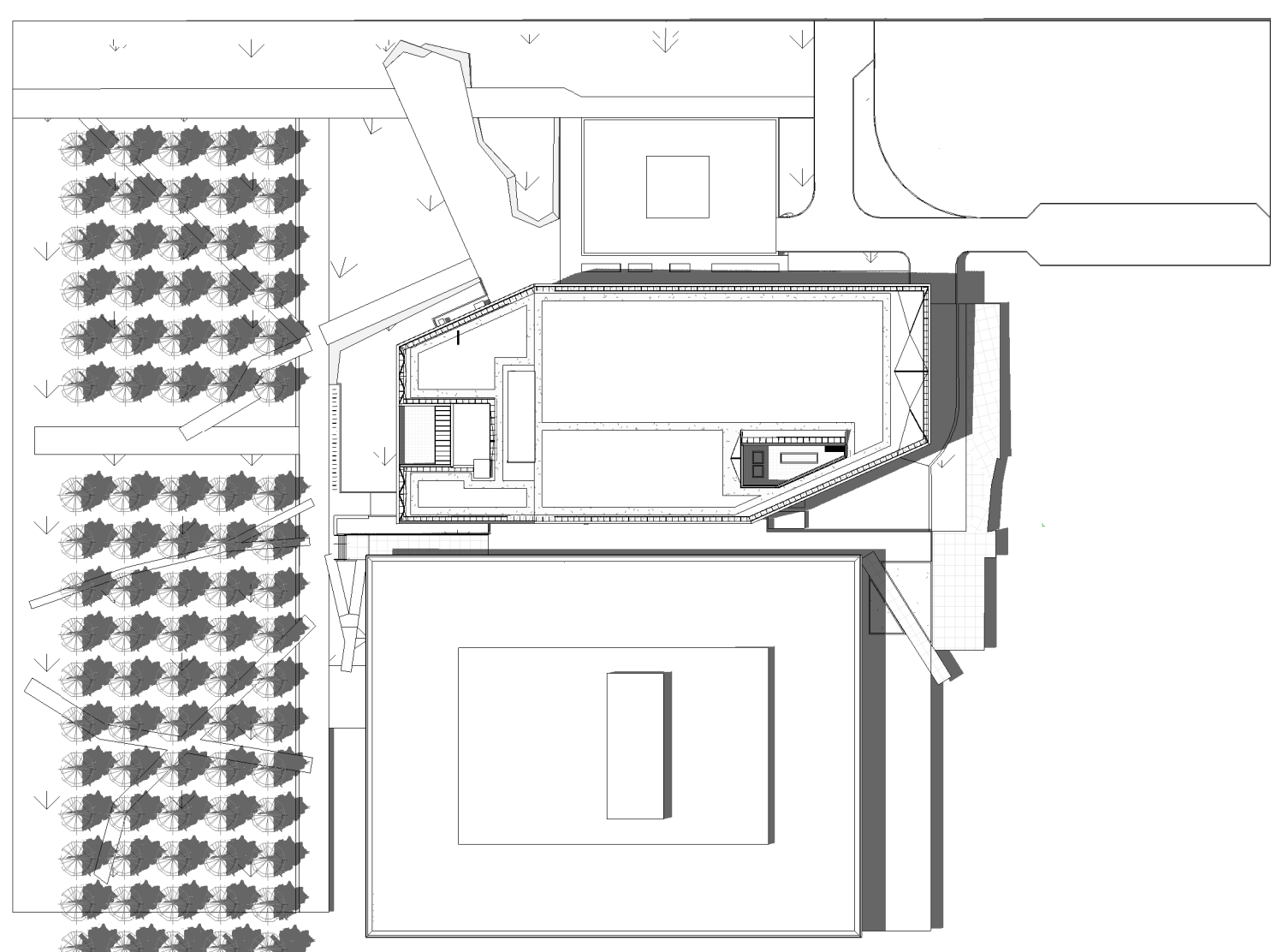
3 Winter Solstice - 2pm  
1 : 1250



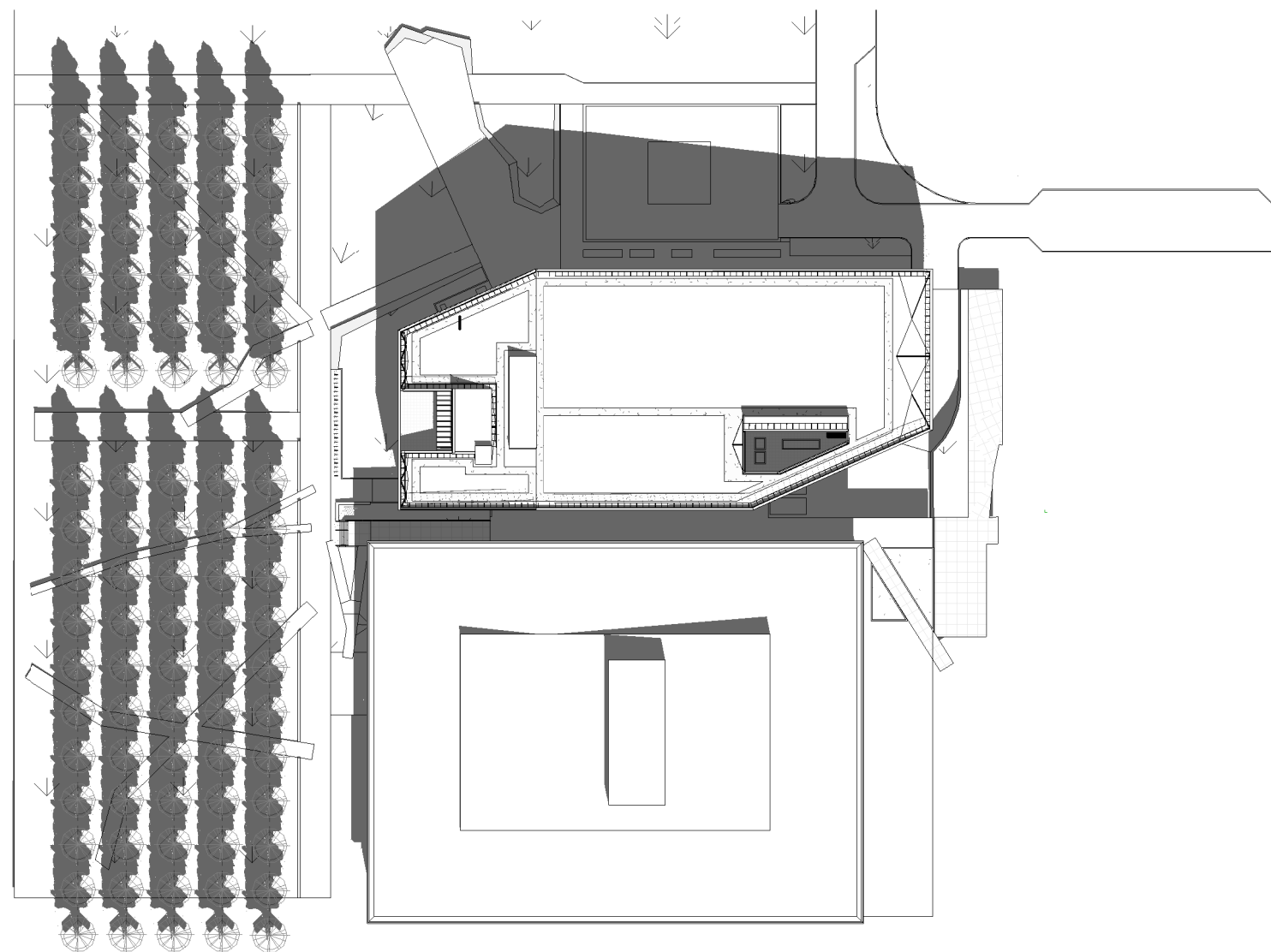
5 Summer Solstice - 10am  
1 : 1250



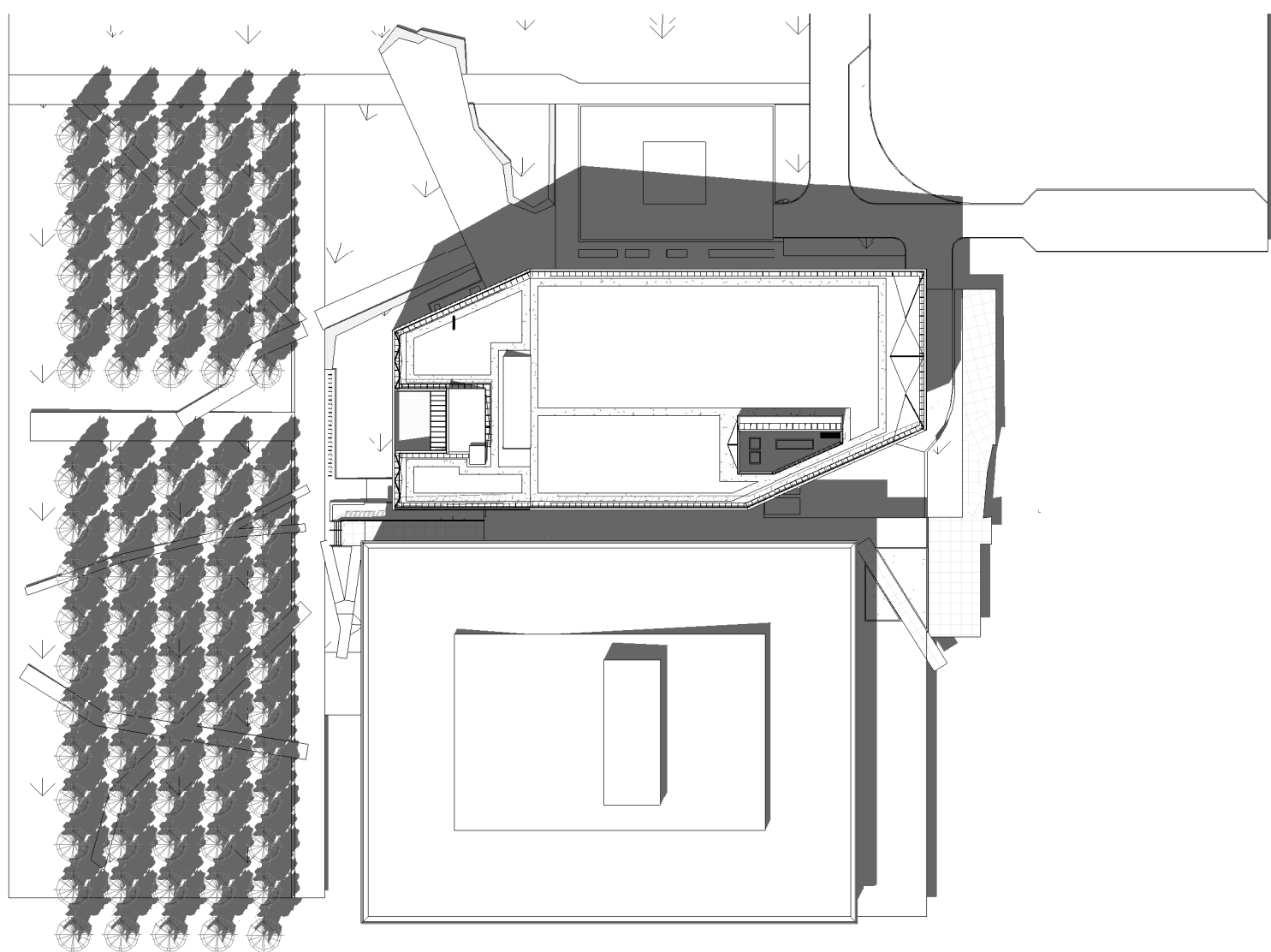
6 Summer Solstice - 12pm  
1 : 1250



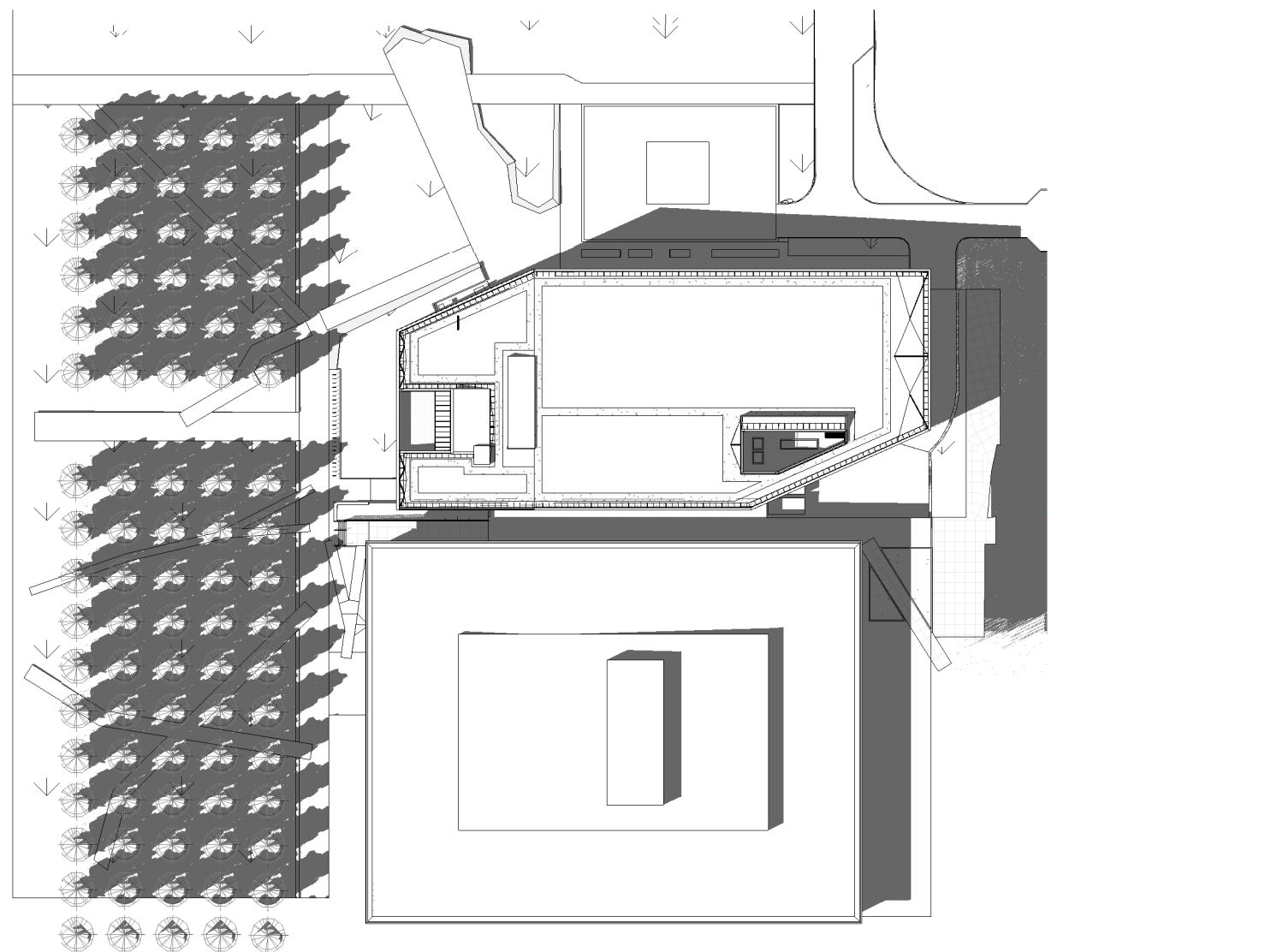
4 Summer Solstice - 2pm  
1 : 1250



7 Equinox - 10am  
1 : 1250



8 Equinox - 12pm  
1 : 1250



9 Equinox - 2pm  
1 : 1250

STAMP

ISSUED / REVISIONS

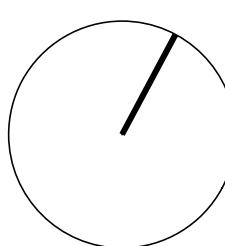
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9	Issued for Development Permit	220225
	r1	

UBC Recreation Centre  
North

6140 Student Union Blvd.

Solar Studies

DATE	Feb 25, 2022
DRAWN BY	
CHECKED BY	
SCALE	
JOB NUMBER	2008



A1.90



- GENERAL NOTES
1. Scope of work boundary shown on drawings is for general illustration of work only. Contractor to make allowances for necessary service connections, hoarding and other associated work occurring outside of this boundary necessary for the completion and functioning of this project.
  2. Refer to Landscape and Civil Drawings for complete landscaping and grading information.
  3. All walkways and curb letdowns to conform to BCBC 2018.
  4. Tree retention, protection, and provision, per Landscape Architect.
  5. All stairs, components, handrails, and guardrails shall conform to BCBC 2018.
  6. Verify all existing site conditions. Notify consultant of any/all discrepancies.
  7. Special precautions must be taken before drilling and/or digging to ascertain electrical conduits, cables, water lines, sprinkler lines, and gas lines are not pierced. Call BC One Call 72 hours prior to digging. Contractor is to locate all utilities generated during construction to the immediate vicinity of the work. Dust or other contaminants will not be acceptable under any circumstances beyond the immediate zone of construction.
  8. Accumulation of garbage and building debris is to be removed by the contractor.
  9. Any service interruption or shutdown shall be pre-agreed with the owner at least 7 days in advance.
  10. Contractor to make good any damage to existing surfaces and/or items caused by the work as necessary.
  - 11.

STAMP

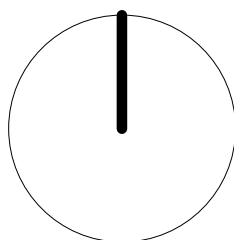
ISSUED / REVISIONS		
NO	DESCRIPTION	DATE
1	Issued for Development Permit	210301
2	Issued for Class C Costing	210409
3	Issued for 66% DD	210630
4	Issued for 100% DD	210730
5	60% CD Draft For Review	211201
6	Issued for DP Response	211203
7	Issued for 60% CD	211217
8	Issued for Pre-Tender Costing	211217
9	Issued for Development Permit	220225
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## UBC Recreation Centre North

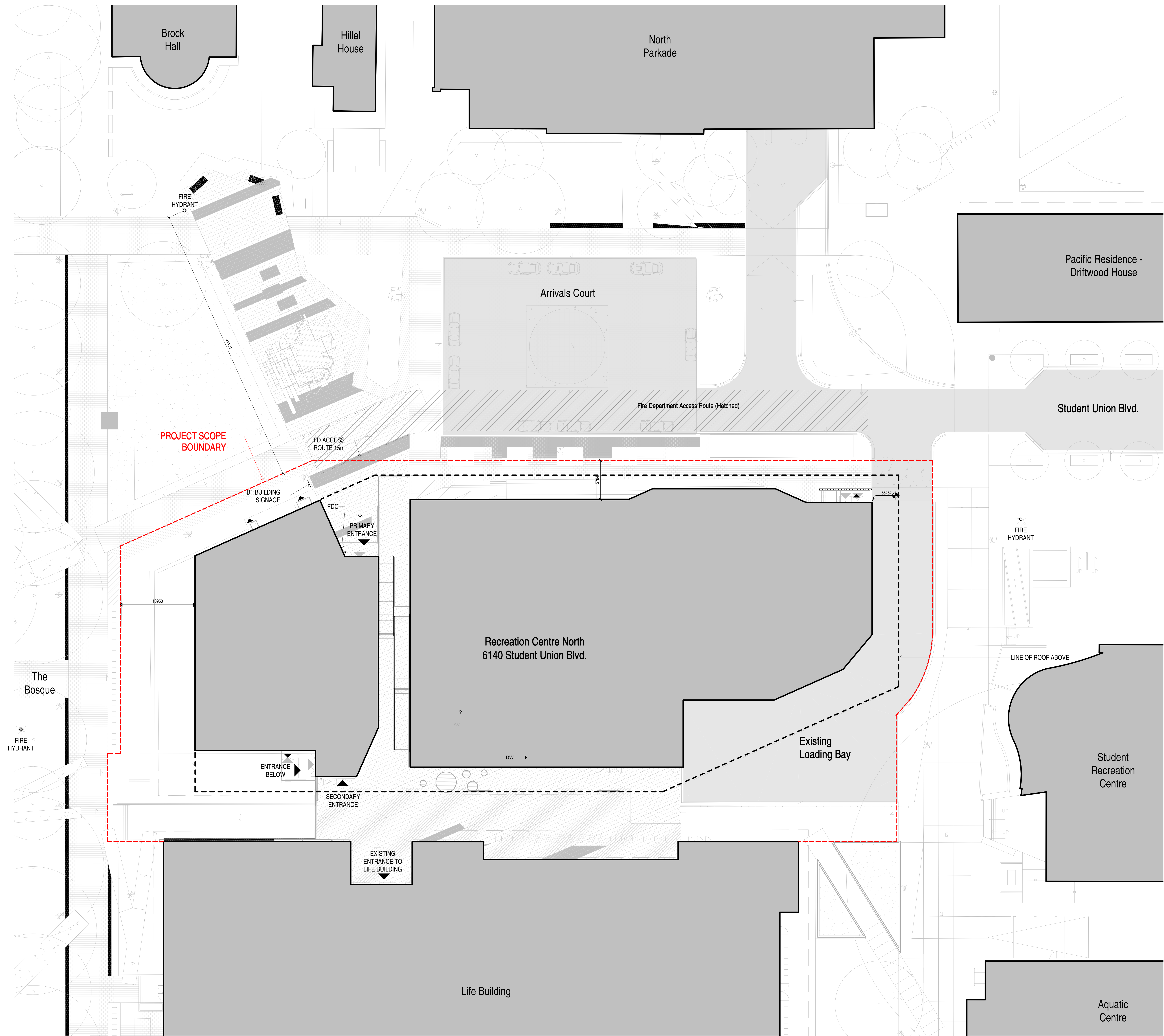
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### Context Plan

DATE	Feb 25, 2022
DRAWN BY	
CHECKED BY	
SCALE	As indicated
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SPOT ELEVATION - EXISTING +  
SPOT ELEVATION - TARGET

GENERAL NOTES

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- All walkways and curb setbacks to conform to BCBC 2018.
- Tree retention, protection, and provision, per Landscape Architect.
- All stairs, components, handrails, and guardrails shall conform to BCBC 2018.
- Verify all existing site conditions. Notify consultant of any/all discrepancies.
- Special precautions must be taken before drilling and/or digging to ascertain electrical conduits, cables, water lines, sprinkler lines, and gas lines are not pierced. Call BC One Call 72 hours prior to digging. Contractor is to locate all just generated during construction to the immediate vicinity of the work. Dust or other contaminants will not be acceptable under any circumstances beyond the immediate zone of construction.
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Site Plan

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GENERAL NOTES

1. Refer to wall schedule and wall sections and details for exterior wall stud types.
2. All washroom to meet accessibility standards outlined in the BCBC 2018.
3. Grab bars shall conform to BCBC 2018 Articles 3.7.2.8 and 3.7.2.10.
4. Provide solid blocking in walls for all wall mounted fixtures, millwork, door stop and electrical equipment. Provide wall blocking on all walls within electrical and communications rooms. Water fountains to have water-resistant solid backing.
5. Refer to Electrical for all Lighting and Life Safety Equipment, and to Mechanical for all HVAC equipment, diffusers, grilles, and plumbing. Mechanical and Electrical systems are shown in Architectural drawings for information only. Contractor to review and coordinate size and locations of all systems that are to be recessed into, or penetrate through, all ceiling and floor assemblies.
6. All elevator slab openings, door openings, pit sills, and elevator mechanical room to be confirmed by elevator contractor.
7. All skylights to be tempered and laminated safety glass.
8. All flashings to be counter-flashed.
9. All roofing to comply with RCABC warranty requirements as specified.
10. Design, supply and install fast restraint anchors to facilitate maintenance work on roof to Worksafe BC standards as specified. Final location of anchors to be confirmed with architect prior to installation.
11. For all acoustic partition walls, provide acoustic sealant at all mechanical and electrical penetrations, and at wall connectors with floor slabs above and below.
12. Provide shims and engineered supports for glazing components as req'd.
13. Provide engineered lateral bracing for all buildings as req'd.

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8	Issued for Pre-Tender Costing	211217
9	Issued for Development Permit r1	220225

UBC Recreation Centre  
North

6140 Student Union Blvd.

Level 0 Plan

DATE	Feb 25, 2022
DRAWN BY	
CHECKED BY	
SCALE	As indicated
JOB NUMBER	2008

A2.00

Level 0  
1:150



GENERAL NOTES

1. Refer to wall schedule and wall sections and details for exterior wall stud types.
2. All washroom to meet accessibility standards outlined in the BCBC 2018.
3. Grab bars shall conform to BCBC 2018 Articles 3.7.2.6 and 3.7.2.10.
4. Provide solid blocking in walls for all wall mounted fixtures, millwork, door stop and electrical equipment. Provide wall blocking on all walls within electrical and communications rooms. Water fountains to have water-resistant solid backing.
5. Refer to Electrical for all Lighting and Life Safety Equipment, and to Mechanical for all HVAC equipment, offices, gylies, and plumbing. Mechanical and Electrical systems are shown in Architectural drawings for information only. Contractor to review and coordinate size and locations of all systems that are to be recessed into, or penetrate through, all ceiling and floor assemblies.
6. All elevator slab openings, door openings, pit size, and elevator mechanical room to be confirmed by elevator contractor.
7. All skylights to be tempered and laminated safety glass.
8. All fastenings to be counter-sunk.
9. All fastenings to comply with RCABC warranty requirements as specified.
10. Design, supply and install fast resistant anchors to facilitate maintenance work on roof to Workable BC standards as specified. Final location of anchors to be confirmed with architect prior to installation.
11. For all acoustic partition walls, provide acoustic sealant at all mechanical and electrical penetrations, and at wall connections with floor slabs above and below.
12. Provide shims and engineered supports for glazing components as req'd.
13. Provide engineered lateral bracing for all building as req'd.

STAMP

ISSUED / REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Development Permit	210301
2	Issued for Class C Costing	210409
3	Issued for 66% DD	210630
4	Issued for 100% DD	210730
5	60% CD Draft For Review	211201
6	Issued for DP Response	211203
7	Issued for 60% CD	211217
8	Issued for Pre-Tender Costing	211217
9	Issued for Development Permit r1	220225

UBC Recreation Centre  
North

6140 Student Union Blvd.

Level 1 Plan

DATE	Feb 25, 2022
DRAWN BY	
CHECKED BY	
SCALE	As indicated
JOB NUMBER	2008



GENERAL NOTES

1. Refer to wall schedule and wall sections and details for exterior wall stud types.
2. All washroom to meet accessibility standards outlined in the BCBC 2018.
3. Grab bars shall conform to BCBC 2018 Articles 3.7.2.6 and 3.7.2.10.
4. Provide solid blocking in walls for all wall mounted fixtures, millwork, door stop and electrical equipment. Provide wall blocking on all walls within electrical and communications rooms. Water fountains to have water-resistant solid backing.
5. Refer to Electrical for all Lighting and Life Safety Equipment, and to Mechanical for all HVAC equipment, diffusers, grilles, and plumbing. Mechanical and Electrical systems are shown in Architectural drawings for information only. Contractor to review and coordinate size and locations of all systems that are to be recessed into, or penetrate through, all ceiling and floor assemblies.
6. All elevator slab openings, door openings, pit size, and elevator mechanical room to be confirmed by elevator contractor.
7. All skylights to be tempered and laminated safety glass.
8. All flashings to be counter-flashed.
9. All roofing to comply with RCABC warranty requirements as specified.
10. Design, supply and install full restraint anchors to facilitate maintenance work on roof to Worksafe BC standards as specified. Final location of anchors to be confirmed with architect prior to installation.
11. For all acoustic partition walls, provide acoustic sealant at all mechanical and electrical penetrations, and at wall connectors with floor slabs above and below.
12. Provide shims and engineered supports for glazing components as req'd.
13. Provide engineered lateral bracing for all bulkheads as req'd.

STAMP

ISSUED / REVISIONS

NO	DESCRIPTION	DATE
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2	Issued for Class C Costing	210409
3	Issued for 66% DD	210630
4	Issued for 100% DD	210730
5	60% CD Draft For Review	211201
6	Issued for DP Response	211203
7	Issued for 60% CD	211217
8	Issued for Pre-Tender Costing	211217
9	Issued for Development Permit r1	220225

UBC Recreation Centre  
North

6140 Student Union Blvd.

Level 2 Plan

DATE	Feb 25, 2022
DRAWN BY	
CHECKED BY	
SCALE	As indicated
JOB NUMBER	2008



GENERAL NOTES

1. Refer to wall schedule and wall sections and details for exterior wall stud types.
2. All washroom to meet accessibility standards outlined in the BCBC 2018.
3. Grab bars shall conform to BCBC 2018 Articles 3.7.2.8 and 3.7.2.10.
4. Provide solid blocking in walls for all wall mounted fixtures, millwork, door stop and electrical equipment. Provide wall blocking on all walls within electrical and communications rooms. Water fountains to have water-resistant solid backing.
5. Refer to Electrical for all Lighting and Life Safety Equipment, and to Mechanical for all HVAC equipment, diffusers, grilles, and plumbing. Mechanical and Electrical systems are shown in Architectural drawings for information only. Contractor to review and coordinate size and locations of all systems that are to be recessed into, or penetrate through, all ceiling and floor assemblies.
6. All elevator slab openings, door openings, pit size, and elevator mechanical room to be confirmed by elevator contractor.
7. All skylights to be tempered and laminated safety glass.
8. All fastenings to be counter-sunk.
9. All fastenings to comply with RCABC warranty requirements as specified.
10. Design, supply and install fast resistant anchors to facilitate maintenance work on roof to Worksafe BC standards as specified. Final location of anchors to be confirmed with architect prior to installation.
11. For all acoustic partition walls, provide acoustic sealant at all mechanical and electrical penetrations, and at wall connectors with floor slabs above and below.
12. Provide shims and engineered supports for glazing components as req'd.
13. Provide engineered lateral bracing for all buildings as req'd.

STAMP

ISSUED / REVISIONS

NO	DESCRIPTION	DATE
1	Issued for Development Permit	210301
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6	Issued for DP Response	211203
7	Issued for 60% CD	211217
8	Issued for Pre-Tender Costing	211217
9	Issued for Development Permit r1	220225

UBC Recreation Centre  
North

6140 Student Union Blvd.

Level 3 Plan

DATE	Feb 25, 2022
DRAWN BY	
CHECKED BY	
SCALE	As indicated
JOB NUMBER	2008

A2.03



GENERAL NOTES

1. Refer to wall schedule and wall sections and details for exterior wall stud types.
2. All washroom to meet accessibility standards outlined in the BCBC 2018.
3. Grab bars shall conform to BCBC 2018 Articles 3.7.2.8 and 3.7.2.10.
4. Provide solid blocking in walls for all wall mounted fixtures, millwork, door stop and electrical equipment. Provide wall blocking on all walls within electrical and communications rooms. Water fountains to have water-resistant solid backing.
5. Refer to Electrical for all Lighting and Life Safety Equipment, and to Mechanical for all HVAC equipment, diffusers, grilles, and plumbing. Mechanical and Electrical systems are shown in Architectural drawings for information only. Contractor to review and coordinate size and locations of all systems that are to be recessed into, or penetrate through, all ceiling and floor assemblies.
6. All elevator slab openings, door openings, pit size, and elevator mechanical room to be confirmed by elevator contractor.
7. All skylights to be tempered and laminated safety glass.
8. All flashings to be counter-flashed.
9. All roofing to comply with RCABC warranty requirements as specified.
10. Design, supply and install fast resistant anchors to facilitate maintenance work on roof to Worksafe BC standards as specified. Final location of anchors to be confirmed with architect prior to installation.
11. For all acoustic partition walls, provide acoustic sealant at all mechanical and electrical penetrations, and at wall connectors with floor slabs above and below.
12. Provide shims and engineered supports for glazing components as req'd.
13. Provide engineered lateral bracing for all bulkheads as req'd.

STAMP

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7	Issued for 60% CD	211217
8	Issued for Pre-Tender Costing	211217
9	Issued for Development Permit	220225

UBC Recreation Centre  
North

6140 Student Union Blvd.

Roof Plan

DATE	Feb 25, 2022
DRAWN BY	
CHECKED BY	
SCALE	As indicated
JOB NUMBER	2008



GENERAL NOTES

- In case of discrepancy between Mech and Arch regarding louvre sizes, Arch shall govern.
- Louvre panel finish to be from custom colour spec.
- All exposed concrete to have 90 degree corner - no chamfer.
- Paint finish for all flatings, breakshapes and metal cladding panels to be from custom colour range.
- Stair guardrail dimensions provided for information only. Dimensions to be confirmed on-site prior to fabrication.
- All acrylic stucco soffits to have expansion joints as shown or at min. 500mm o/c.
- Refer to code compliance drawings.
- All operable windows c/w 100mm restrictors.
- Provide visible marking/decals on all full height glazing. Architect to review.
- Contractor to coordinate mechanical intake and exhaust openings w/ louvered panels as per Mechanical drawings.

Material Legend

- MP1 1300mm ACM PANEL  
MP2 PRE FINISHED METAL REVEAL SIDING  
MP4 MECHANICAL LOUVRE  
MR1 METAL RAILING

STAMP

ISSUED / REVISIONS

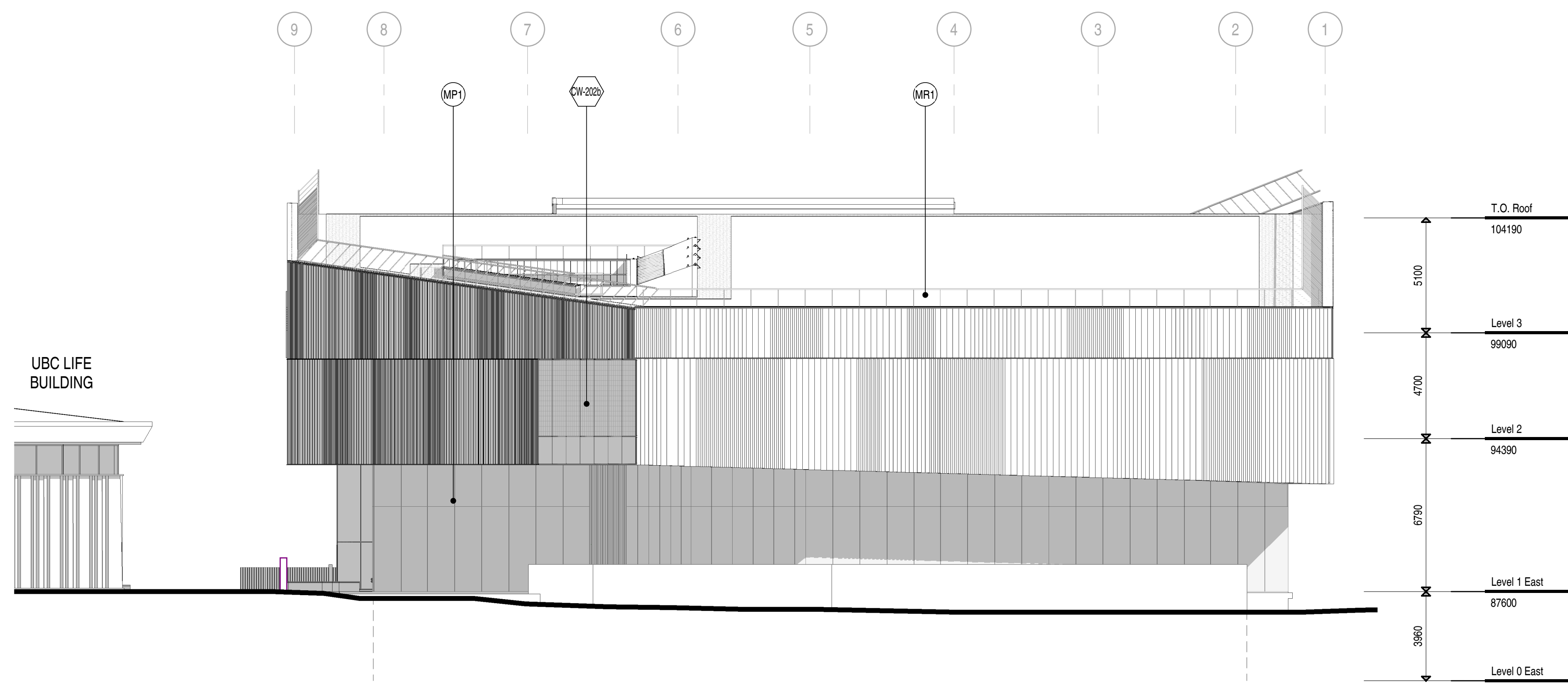
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6	Issued for DP Response	211203
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UBC Recreation Centre  
North

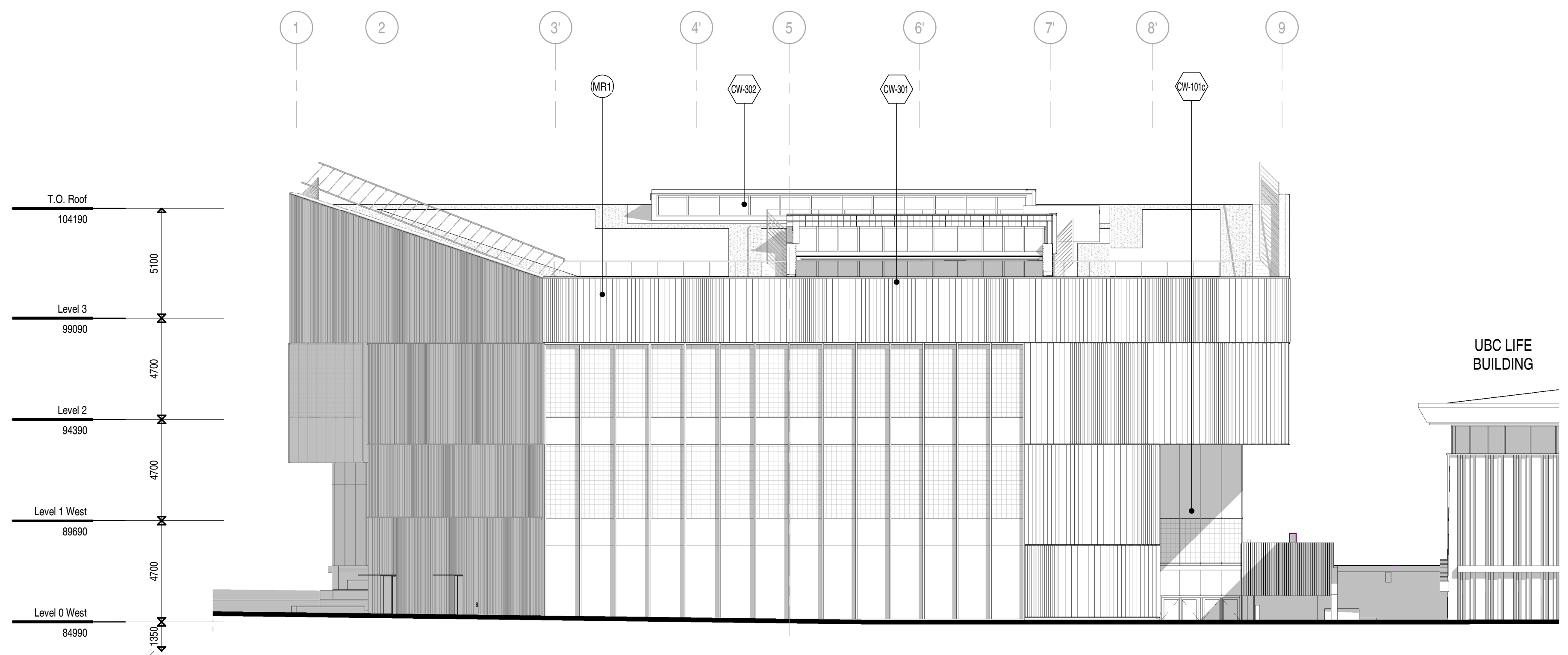
6140 Student Union Blvd.

Building Elevations

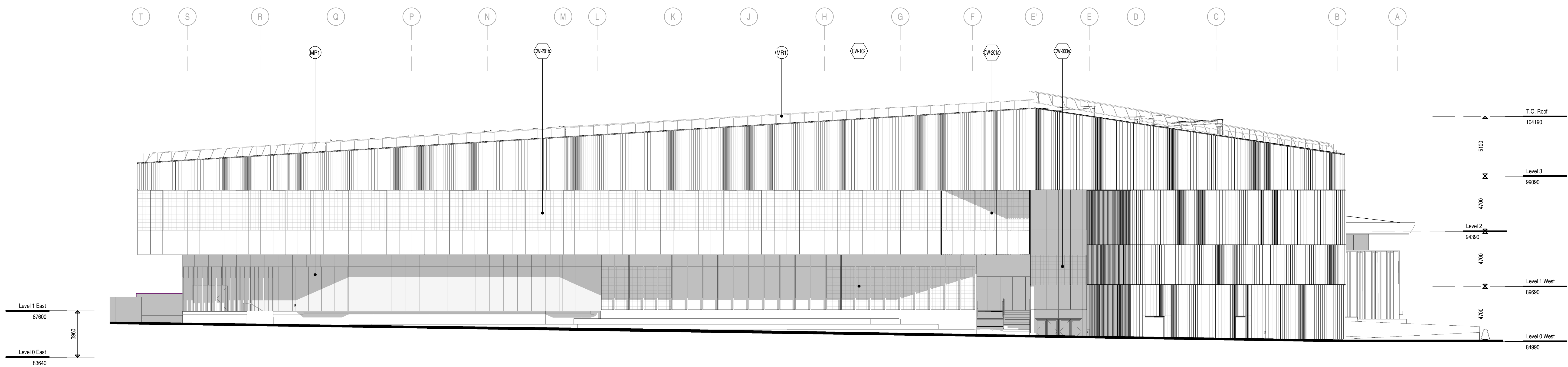
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SCALE	As indicated
JOB NUMBER	2008



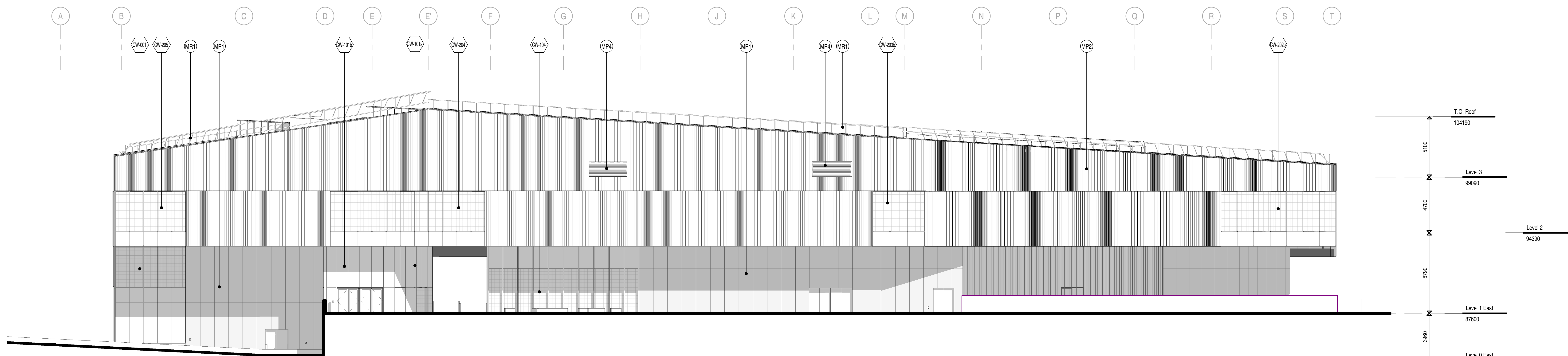
1 East Elevation  
1 : 150



2 West Elevation  
1 : 150



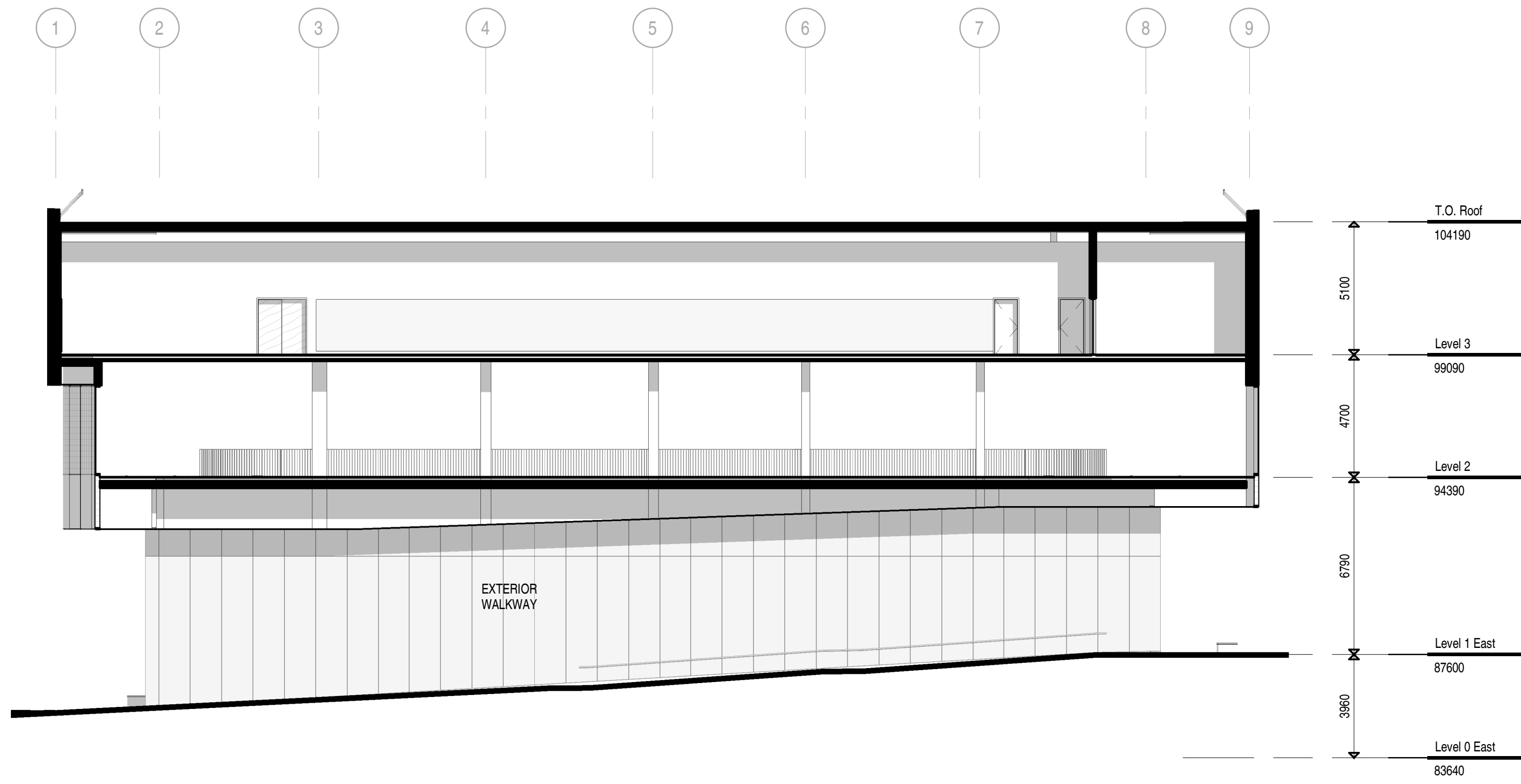
3 North Elevation  
1 : 150



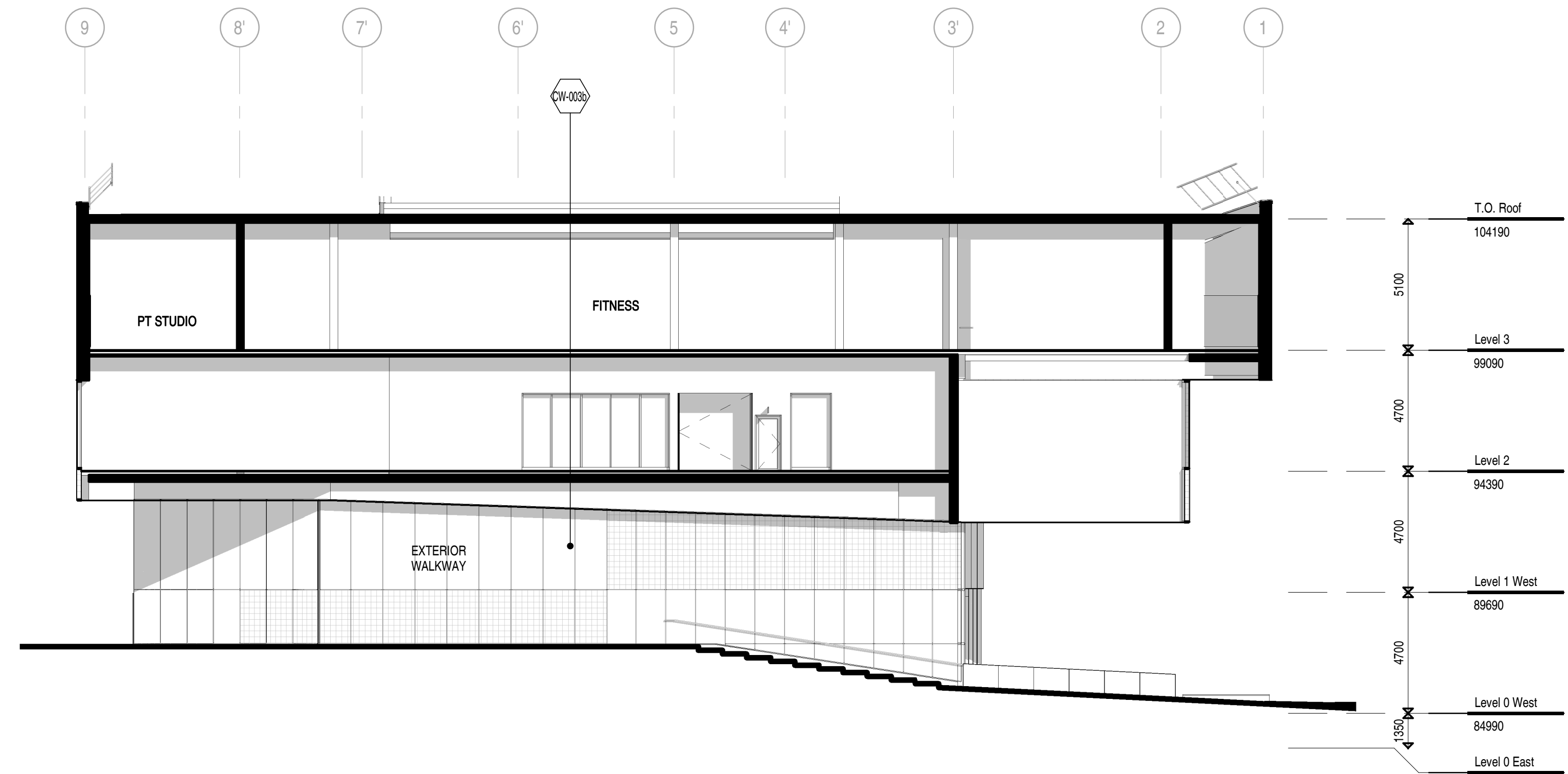
4 South Elevation  
1 : 150



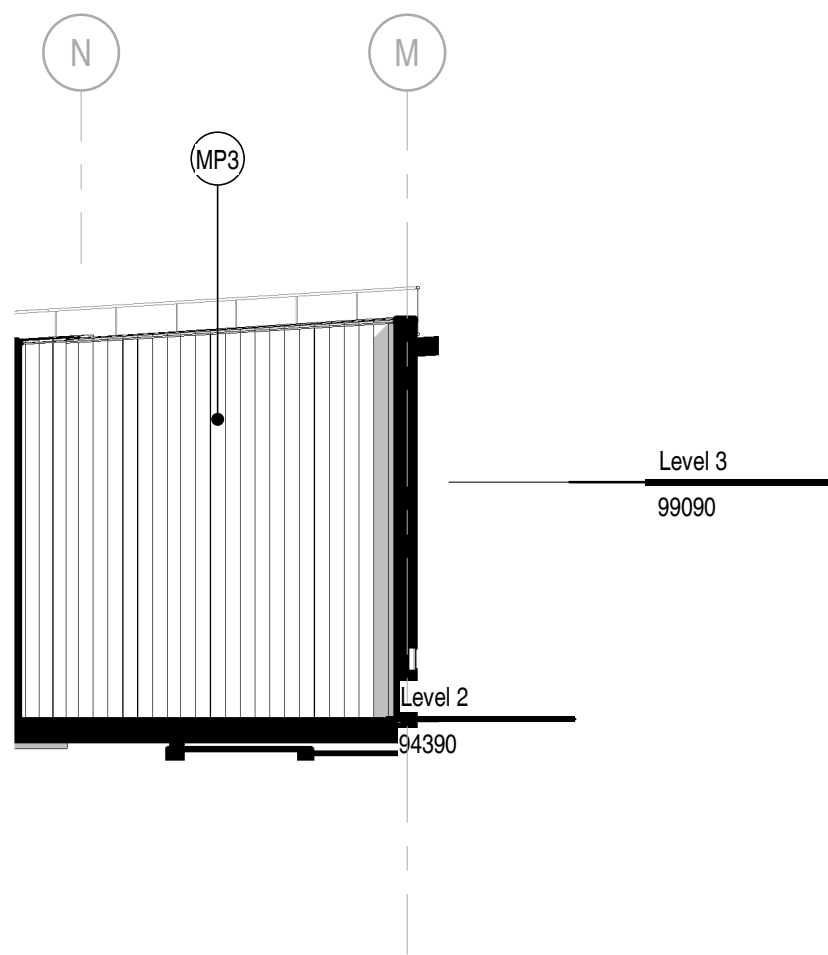
- GENERAL NOTES
- In case of discrepancy between Mech and Arch regarding louvre sizes, Arch shall govern.
  - Louvre paint finish to be from custom colour spec.
  - All exposed concrete to have 90 degree corner - no chamfer.
  - Paint finish for all flatings, breakshapes and metal cladding panels to be from custom colour range.
  - Stair guardrail dimensions provided for information only. Dimensions to be confirmed on-site prior to fabrication.
  - All acrylic stucco soffits to have expansion joints as shown or at min. 500mm o/c.
  - Refer to code compliance drawings.
  - All operable windows c/w 100mm restrictors.
  - Provide visible marking/decals on all full height glazing. Architect to review.
  - Contractor to coordinate mechanical intake and exhaust openings w/ louvered panels as per Mechanical drawings.



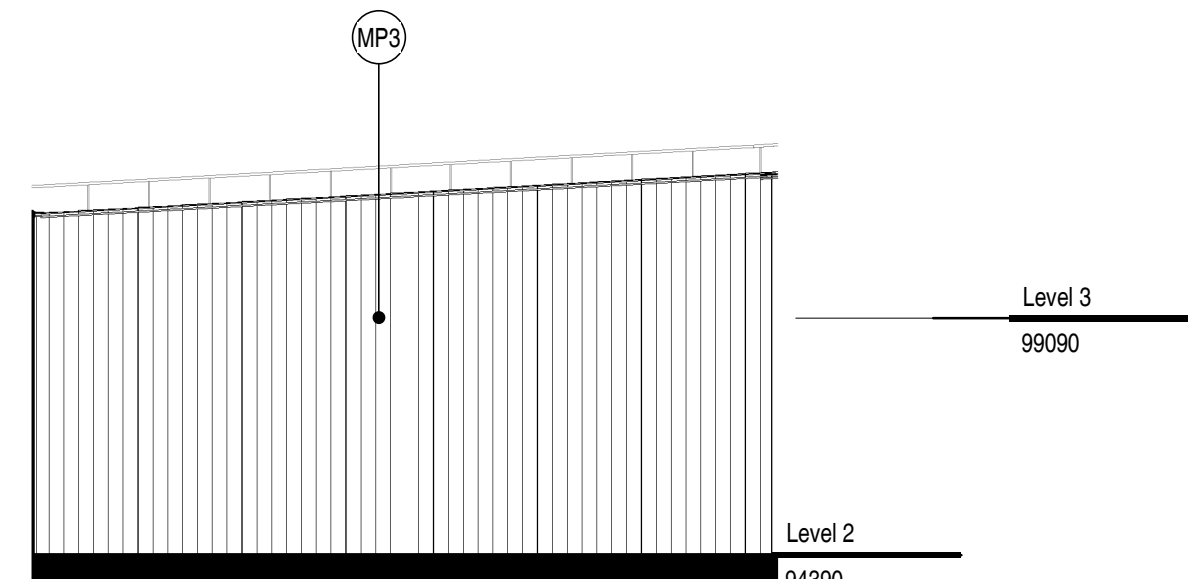
1 West Elevation - North South Walkway Cut  
1 : 150



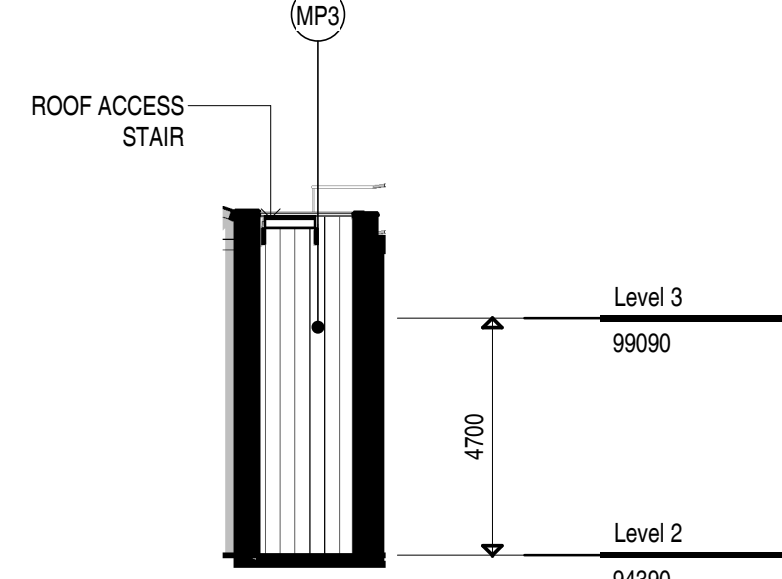
2 East Elevation - North South Walkway Cut  
1 : 150



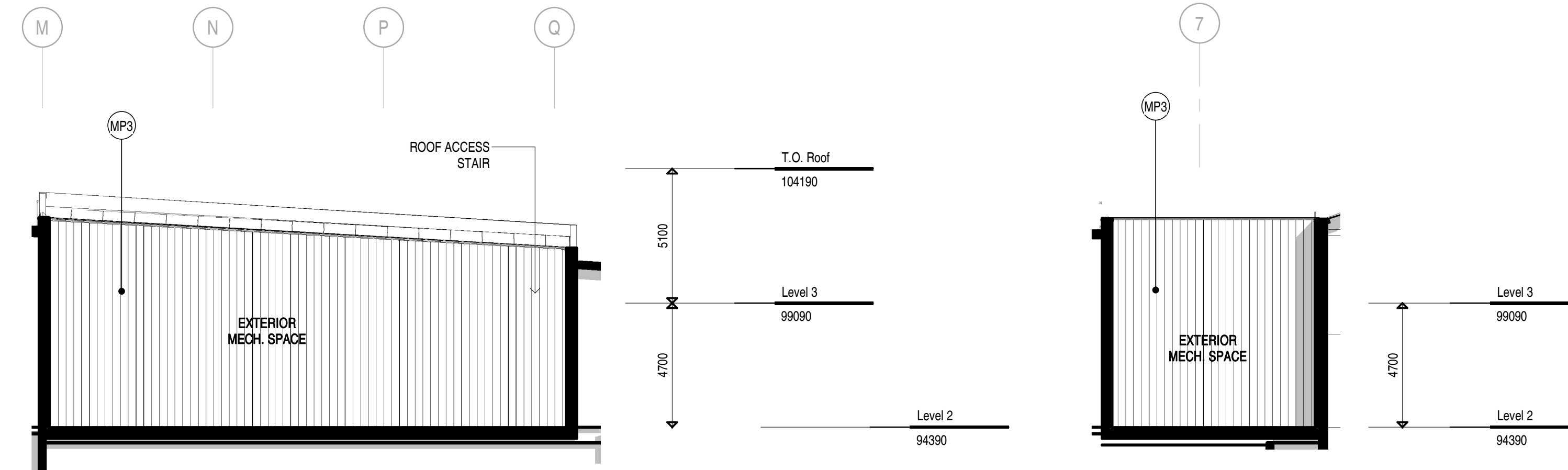
3 North Elevation - Outdoor Mechanical  
1 : 150



4 Northwest Elevation - Outdoor Mechanical  
1 : 150



5 West Elevation - Outdoor Mechanical  
1 : 150



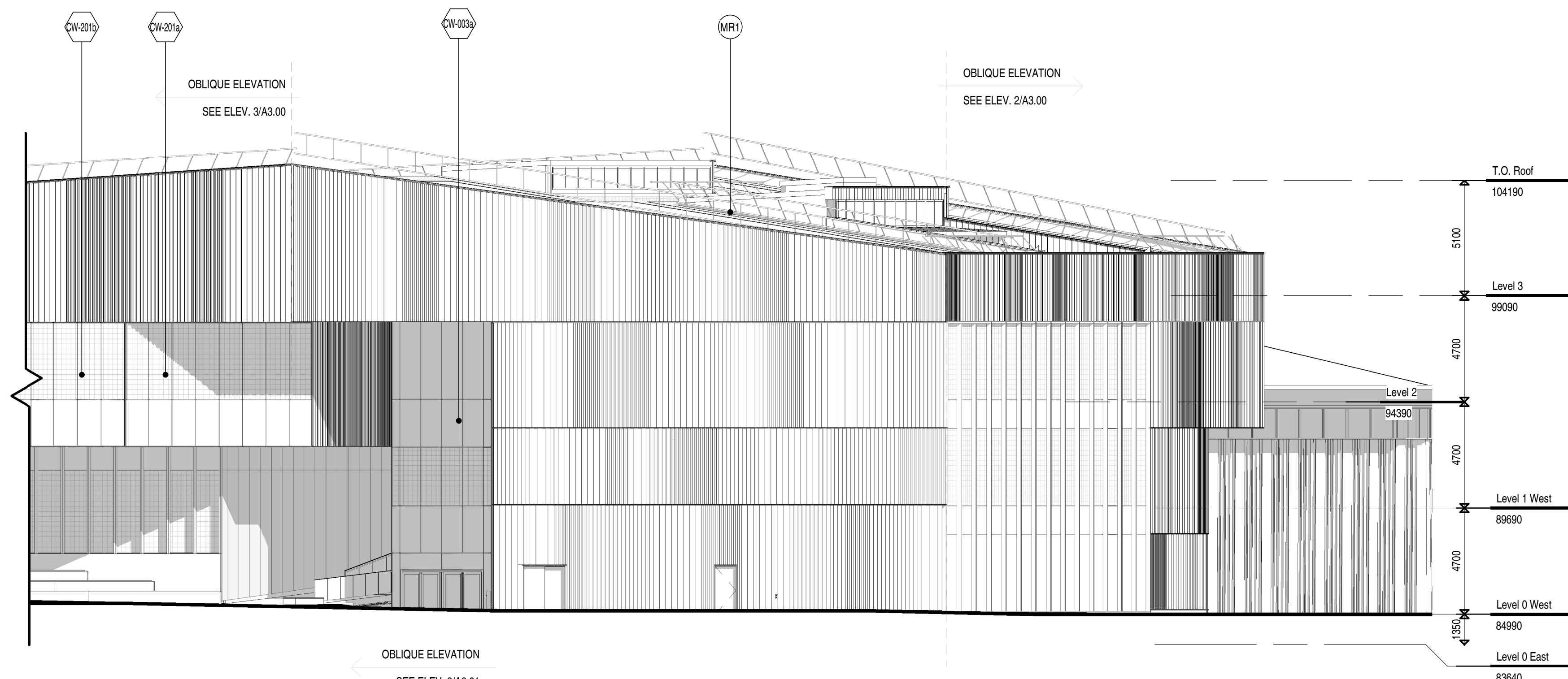
6 South Elevation - Outdoor Mechanical  
1 : 150

7 East Elevation - Outdoor Mechanical  
1 : 150

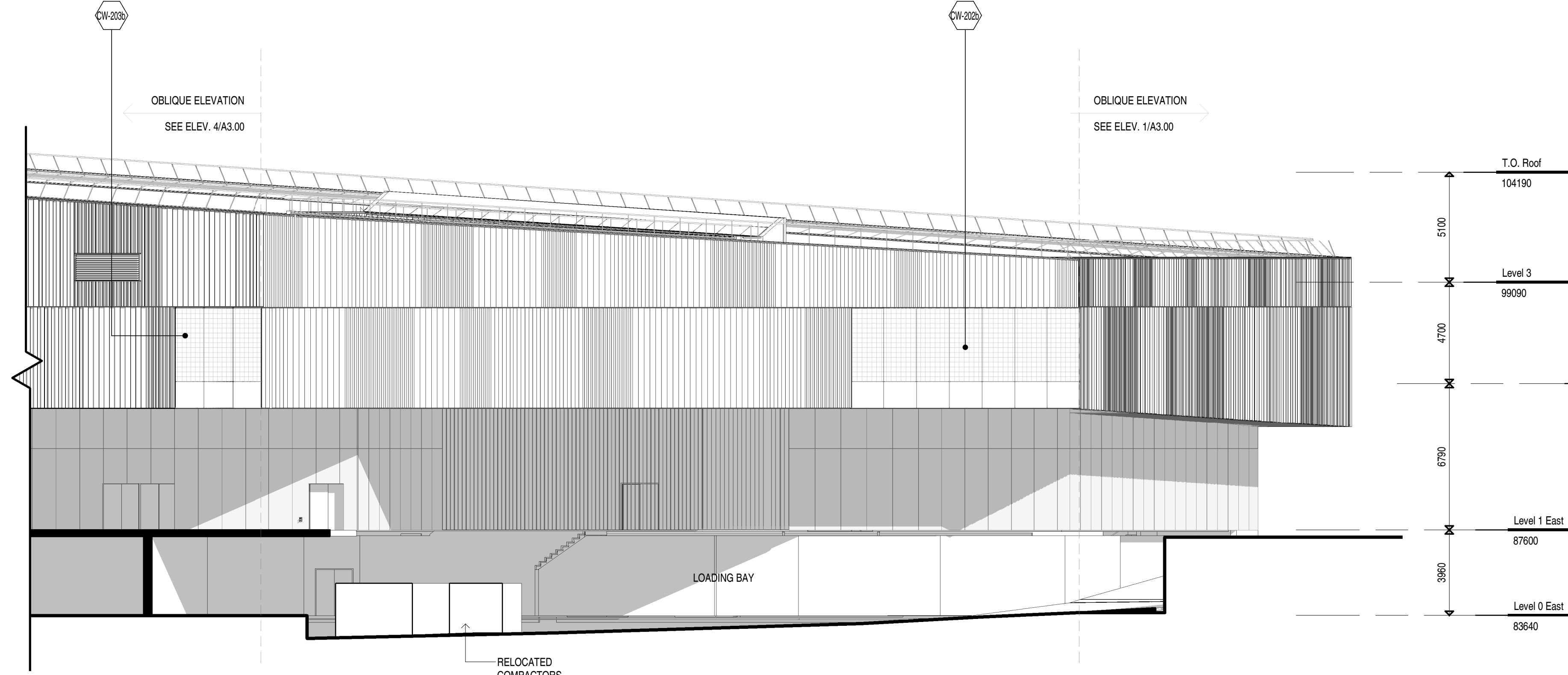
Material Legend

MP3 PRE FINISHED METAL PLAN WALL SIDING  
MR1 METAL RAILING

STAMP



8 Northwest Elevation  
1 : 150



9 Southeast Elevation  
1 : 150

ISSUED / REVISIONS		
NO	DESCRIPTION	DATE
2	Issued for Class C Costing	210409
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7	Issued for 60% CD	211217
8	Issued for Pre-Tender Costing	211217

## UBC Recreation Centre North

6140 Student Union Blvd.

## Partial Elevations

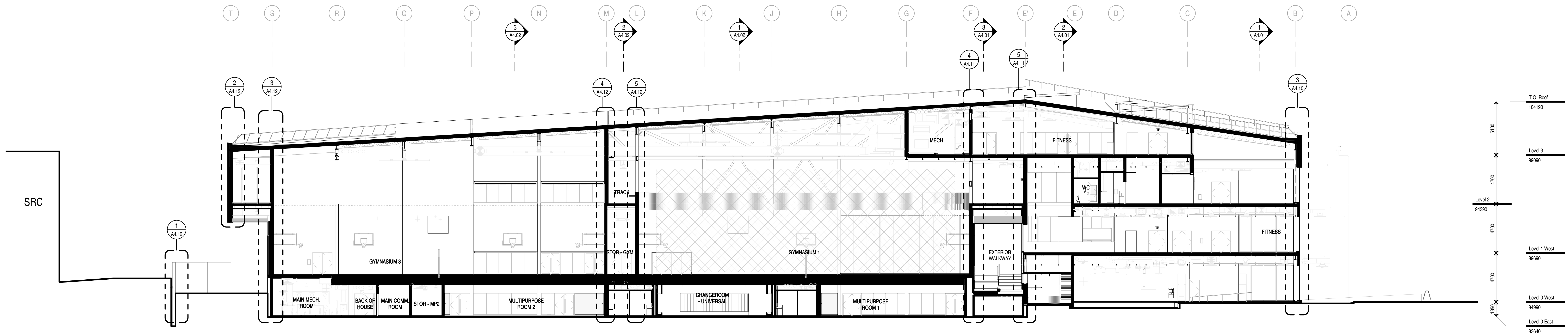
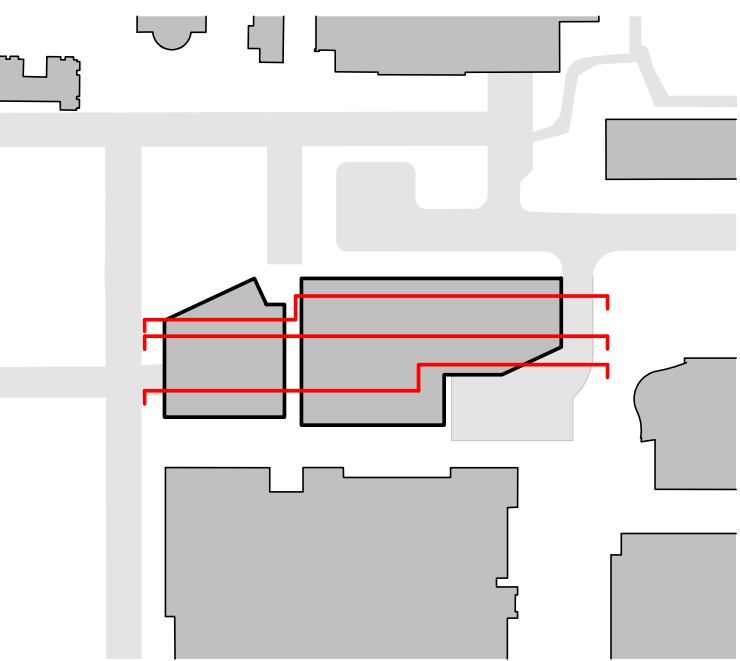
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SCALE

JOB NUMBER

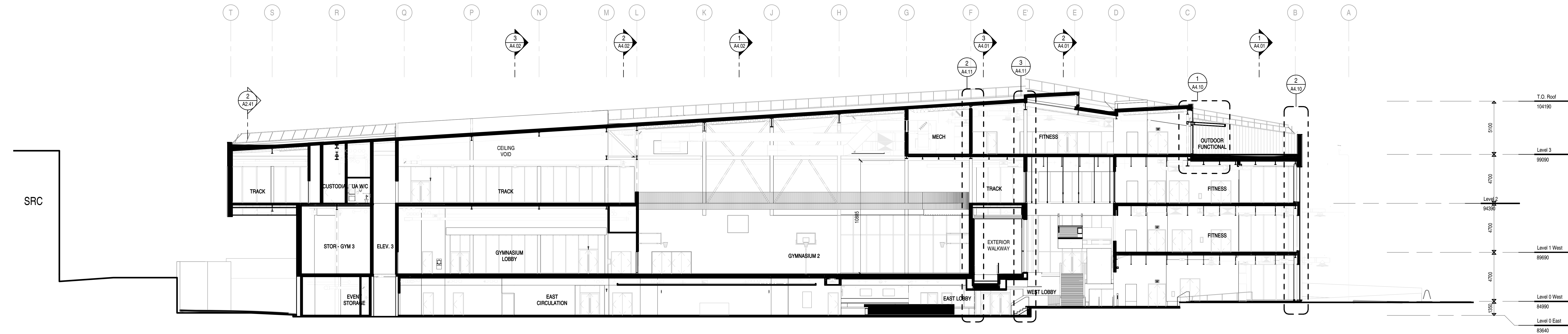
Feb 25, 2022

2008

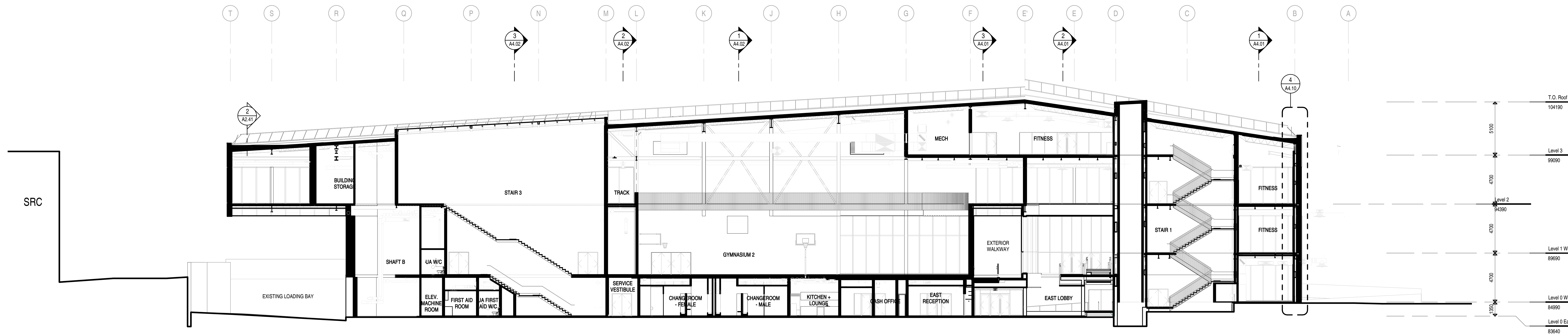




1 E-W Section through Gym 1 & 3  
1: 150



2 E-W Section through Gym 2  
1: 150



3 E-W Section through Stair A & C  
1: 150

STAMP

ISSUED / REVISIONS		
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8	Issued for Pre-Tender Costing	211217
9	Issued for Development Permit	220225
	r1	

UBC Recreation Centre  
North

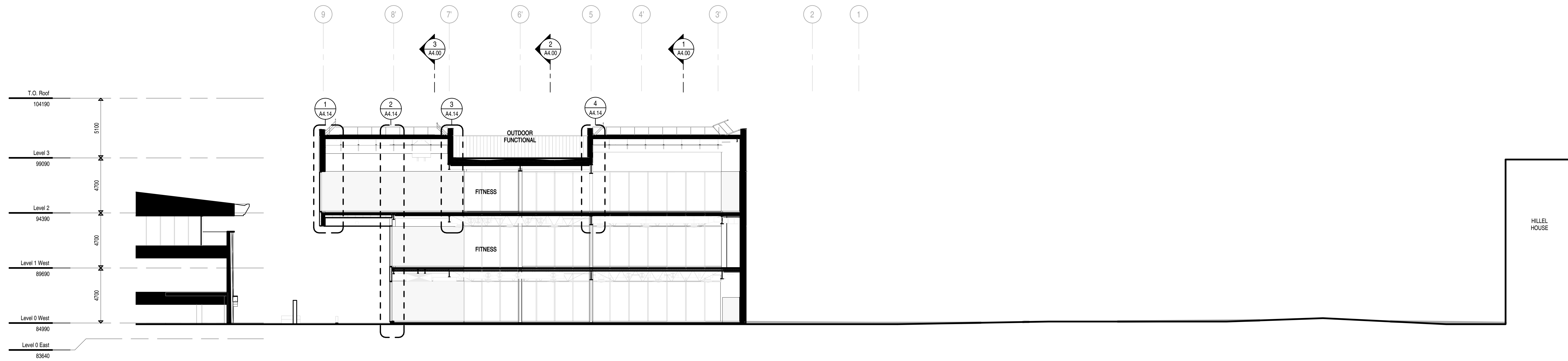
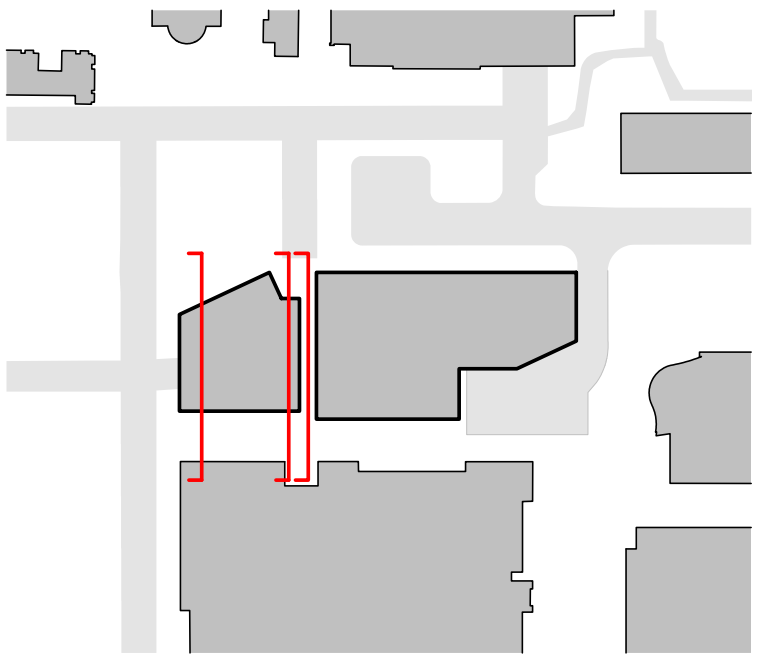
6140 Student Union Blvd.

Sections E-W

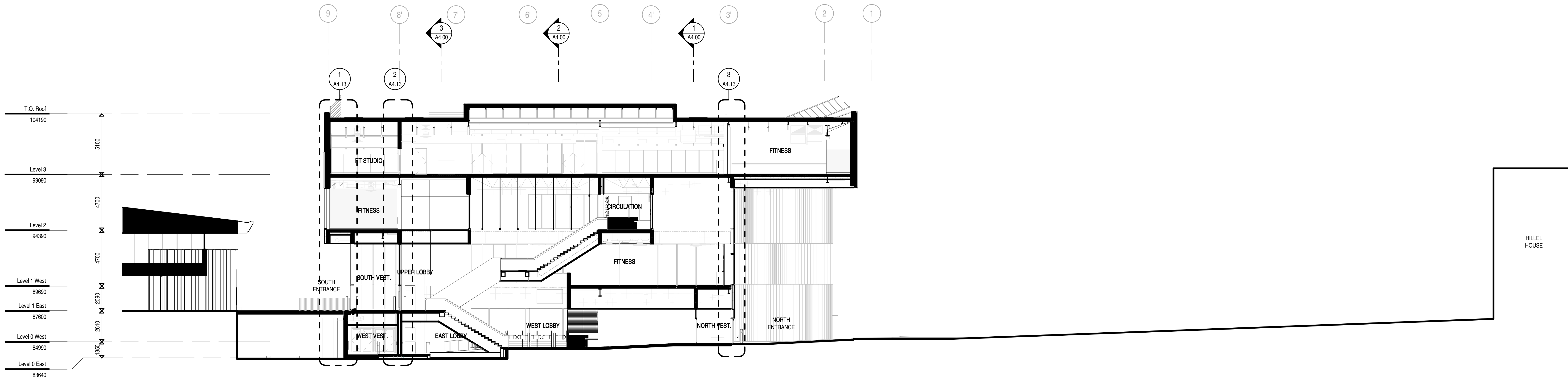
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JOB NUMBER	2008

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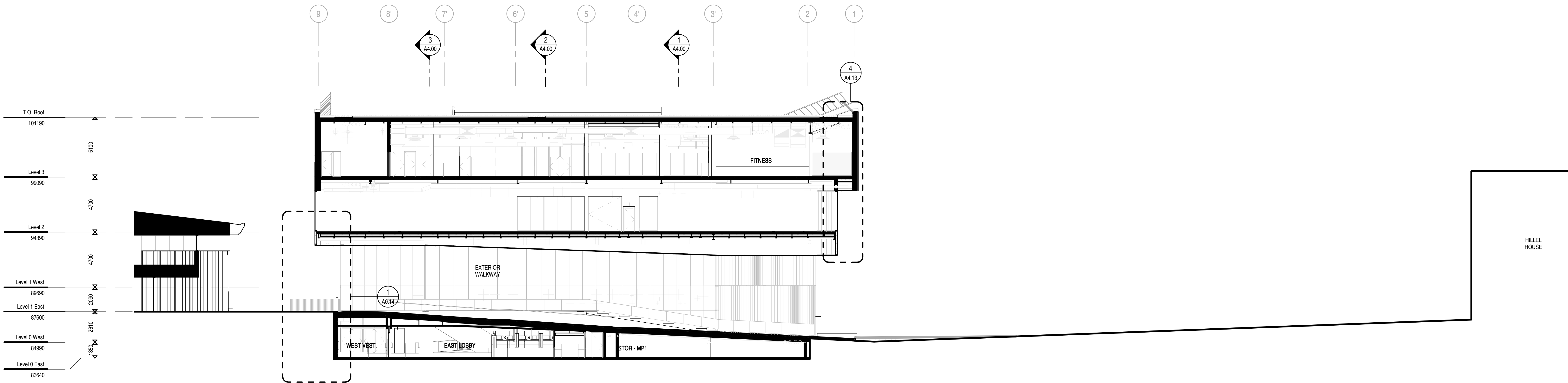




1 N-S Section through Fitness Block  
1 : 150



2 N-S Section through North Entrance Ramp  
1 : 150



3 N-S Section through Exterior Walkway  
1 : 150

STAMP

ISSUED / REVISIONS

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UBC Recreation Centre  
North

6140 Student Union Blvd.

Sections N-S

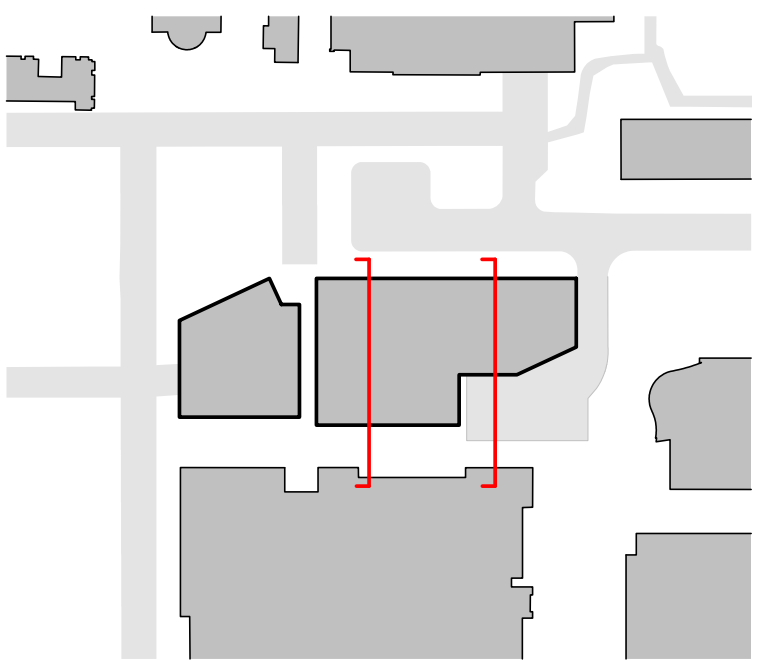
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CHECKED BY  
SCALE

Feb 25, 2022

JOB NUMBER

2008





NORTH PARKADE

NORTH PARKADE

NORTH PARKADE

STAMP

ISSUED / REVISIONS

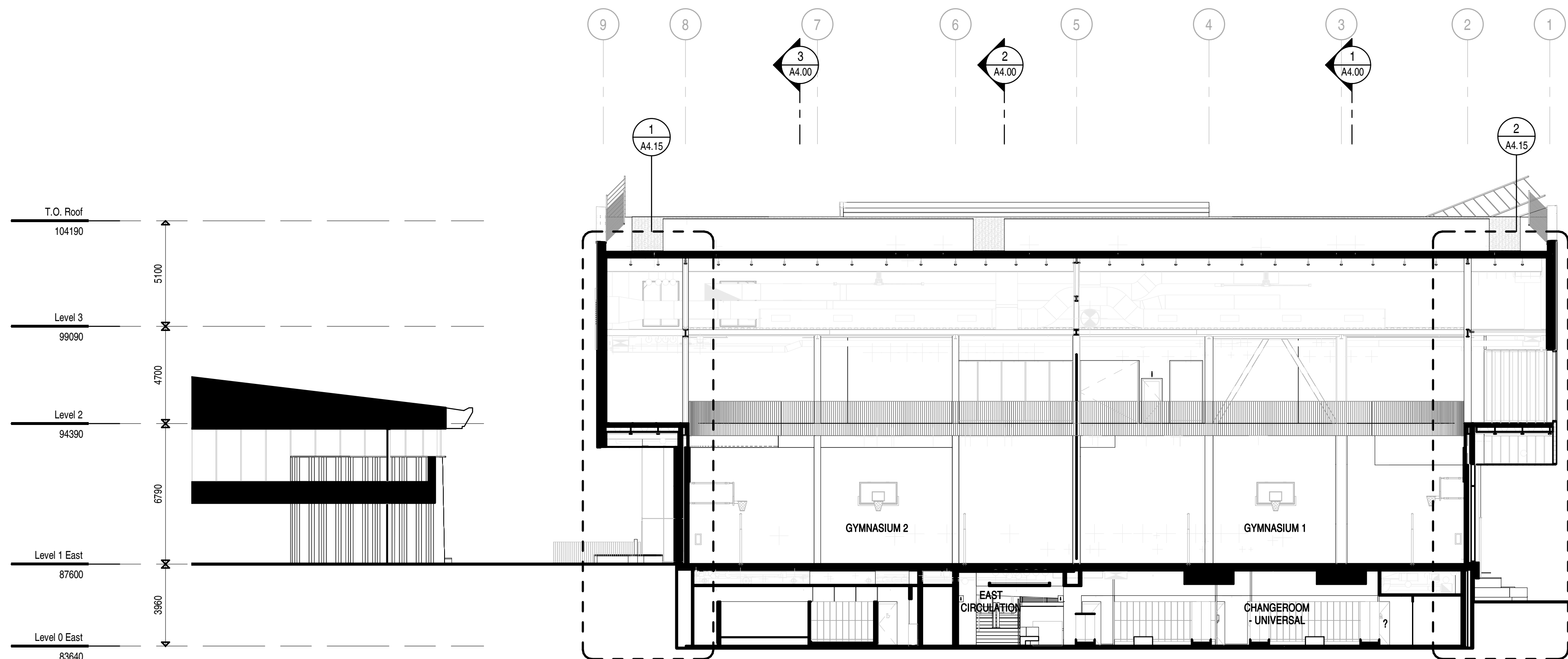
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UBC Recreation Centre  
North

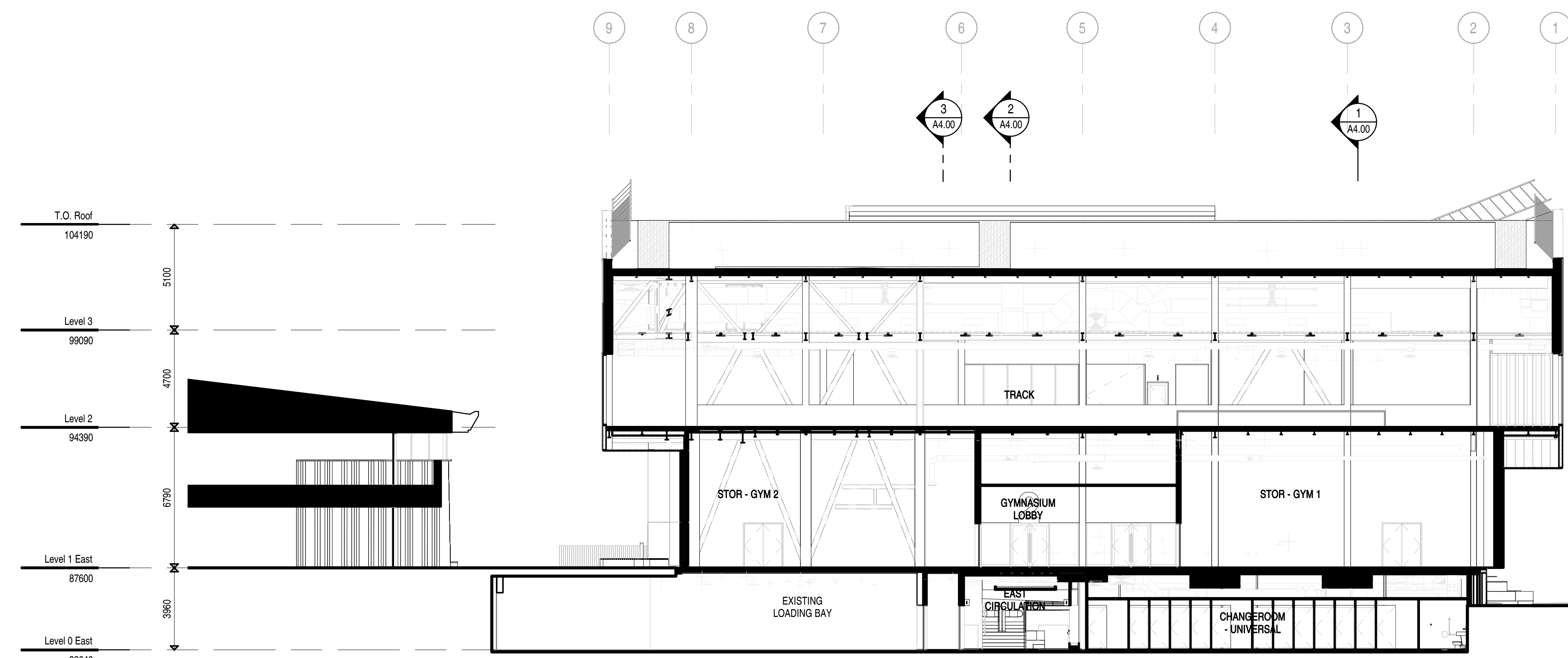
6140 Student Union Blvd.

Sections N-S

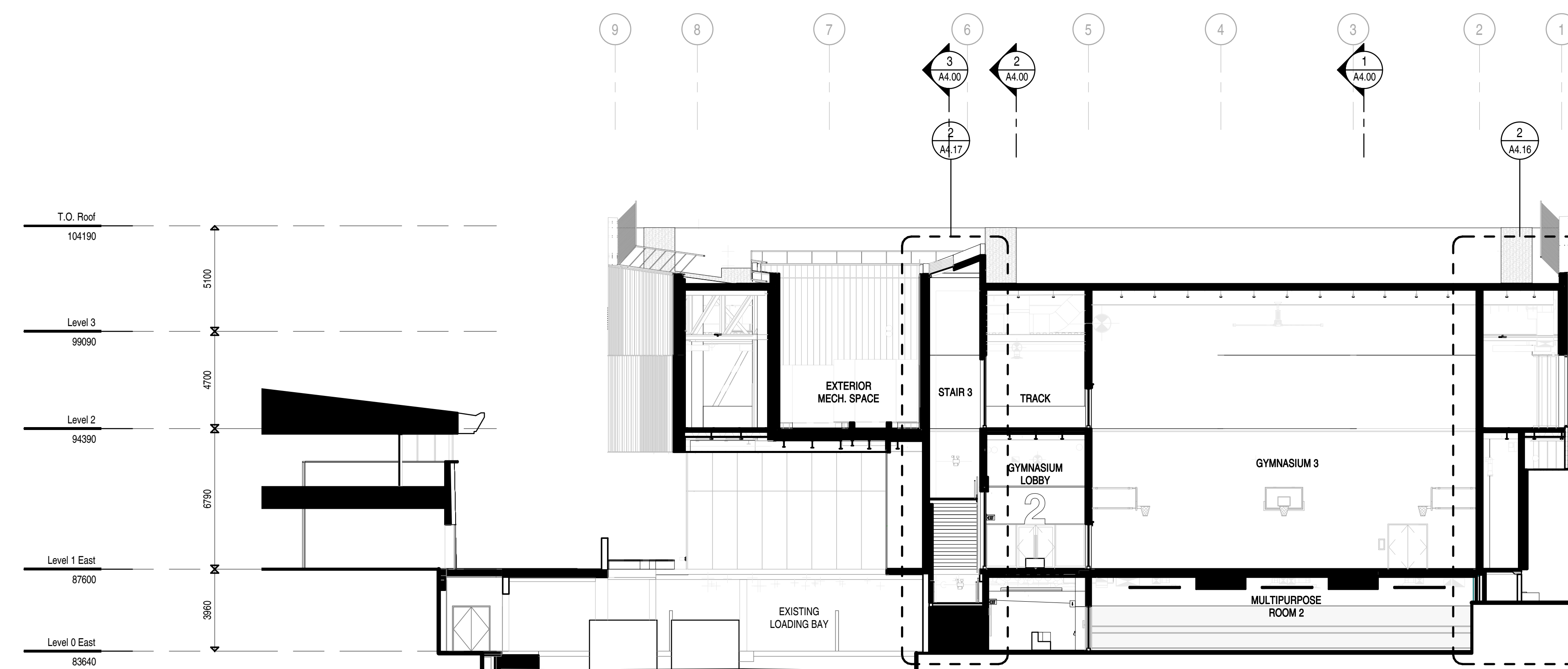
DATE	Feb 25, 2022
DRAWN BY	
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SCALE	As indicated
JOB NUMBER	2008



1 N-S Section through Gym 1 & 2  
1:150



2 N-S Section through Gym 1 Storage  
1:150



3 N-S Section through Gym 3 & Loading Bay  
1:150