

WESBROOK - LOT E

SOUTH CAMPUS

DRAWING LIST - DP#3 SUBMISSION

A0.00	COVER SHEET & STATISTICS
A1.01	CONTEXT PLAN & CONTEXT PHOTOS
A1.01a	SITE PLAN
A1.02	SHADOW STUDIES
A2.00	LEVEL P1 - PARKADE
A2.00a	LEVEL P2 - PARKADE
A2.01	LEVEL 1 / SITE PLAN
A2.01a	LEVEL 1 MEZZANINE
A2.02	LEVEL 2
A2.03	LEVEL 3
A2.04	LEVEL 4 & 5
A2.05	LEVEL 6
A2.06	ROOF PLAN
A3.01	ELEVATIONS
A4.01	SECTIONS

L1.0	LEVEL 1 - LANDSCAPE PLAN
L1.0.1	TREE REMOVAL / RETENTION PLAN
L1.0.2	LEVEL 1 - LIGHTING COORD PLAN
L1.1	LEVEL 3 - LANDSCAPE PLAN
L1.2	LEVEL 6 - LANDSCAPE PLAN
L2.0	LEVEL 1 - PLANTING PLAN
L2.1	LEVEL 3 - PLANTING PLAN
L2.2	LEVEL 6 - PLANTING PLAN

---	UTILITIES - ELECTRICAL
---	UTILITIES - GAS
---	UTILITIES - STREETLIGHTS
---	UTILITIES - SANITARY
---	UTILITIES - STORM
---	UTILITIES - WATER
---	UTILITIES - SURVEYS



PROJECT #1417 - UBC - LOT E MIXED-USE DEVELOPMENT

LEGAL DESCRIPTION				
LOT E DISTRICT LOT 6494 GROUP 1 NEW WESTMINSTER DISTRICT				
PLAN BCP35352 EXCEPT PLAN EPP29484				

	(sm)	(sf)	(acres)	(ha)
SITE AREA	2,615	28,150	0.646	0.262
SITE COVERAGE	85.7%	24,389		

	(m)	(ft)
BUILDING HEIGHT		
ALLOWED (UBC Dev't Handbook)	23	75.46
PROPOSED	22	72.18

SETBACKS	(ft)
East	9.92
West	0
North	0.6
South	6.75

EXCLUSIONS		(sf)
STORAGE EXEMPTION	EXCL	3,600
LOBBIES	EXCL	2,070
LOUNGE	EXCL	1,175
ROOF AMENITY	EXCL	162
LOADING	EXCL	664
ELEVATORS / ELEC / COMM / SHAFTS	EXCL	1,916
OVERALL WALL EXCLUSION	EXCL	205
NET EXCLUSION AREA		9,792

GROSS FLR AREA	108,223
NET FLR AREA	98,430
FSR	3.497
FSR (PERMITTED)	no max

REQUIRED PARKING SPACES	
RESIDENTIAL (max = lesser of 1.8/unit or 1/70sm)	78
HANDICAPPED	8 (= .1 / RES STALL)
COMMERCIAL (equals 2 spaces / CRU)	16 (= 2 / COMM UNIT)
VISITOR	8 (= .1 / RES STALL)
TOTAL REQUIRED	110
ALLOWED SMALL CAR SPACES - (UP TO 25% OF REQ'D)	

PROPOSED PARKING SPACES	
RESIDENTIAL	Level P1 28
	Level P2 53
HANDICAPPED	Level P1 2
	Level P2 6
COMMERCIAL / COMMUNITY	Level P1 12
VISITOR	Level P1 8
TOTAL PROPOSED	109

BIKE PARKING (REQUIRED)	
RESIDENTIAL (round up to next nearest whole)	
CLASS I 1.5 / DWELLING	135
CLASS I I 16 / 35 UNITS	42 at grade
COMMERCIAL (but no less than 4 / unit)	
CLASS I I 2 / 1076 sf	52 at grade
TOTAL CLASS II REQUIRED	95 at grade

BIKE PARKING (PROVIDED)	
CLASS I 145 in parkade	
CLASS I I (Add'l 10 Class II stalls to be provided within Village)	85 at grade

RESIDENTIAL BREAKDOWN

UNIT NAME	UNIT TYPE	L1	L2	L3	L4	L5	L6	ROOF	TOTAL # UNITS	UNIT AREA	NET UNIT AREA	EXC PER UNIT	FSR AREA	NET FSR AREA	UNIT MIX	
LOFT (inc mezz)	STUDIO	5	0	0	0	0	0	-	5	611	3055	40	571	2855	5.6%	
TYPE M1	STUDIO	0	11	1	1	1	0	-	14	357	4998	40	317	4438	15.6%	
TYPE M2	STUDIO	0	1	0	0	0	0	-	1	358	358	40	318	318	1.1%	
TYPE M3	STUDIO	0	0	1	1	1	1	-	4	540	2160	40	500	2000	4.4%	
TYPE M4	STUDIO	0	0	1	1	1	1	-	4	481	1924	40	441	1764	4.4%	STUDIO TOTAL 28 31.1%
TYPE A	1 BED	0	0	1	1	1	1	-	4	525	2100	40	485	1940	4.4%	
TYPE A1	1 BED	0	0	1	1	1	1	-	4	575	2300	40	535	2140	4.4%	
TYPE A2	1 BED	1	0	0	0	0	0	-	1	535	535	40	495	495	1.1%	1 BED TOTAL 10 11.1%
TYPE A3	1 BED	1	0	0	0	0	0	-	1	585	585	40	545	545	1.1%	
TYPE B	2 BED	0	0	8	8	8	8	-	32	800	25600	40	760	24320	35.6%	
TYPE B1	2 BED	0	1	1	1	1	0	-	4	889	3556	40	849	3396	4.4%	
TYPE B2	2 BED	0	1	1	1	1	0	-	4	886	3544	40	846	3384	4.4%	2 BED TOTAL 40 44.4%
TYPE D	3 BED	0	0	2	2	2	2	-	8	1011	8088	40	971	7768	8.9%	
TYPE D1	3 BED	0	0	1	1	1	1	-	4	1011	4044	40	971	3884	4.4%	3 BED TOTAL 12 13.3%
UNIT / FLR		7	14	18	18	18	15		90	UNITS						90 check
UNIT AREA / FLR		4175	6060	13686	13686	13686	11554				62847	3600		59247	100.0%	

RESIDENTIAL COMMON AREAS	L1	L2	L3	L4	L5	L6	ROOF	TOTAL
LOBBY EAST	386	-	-	-	-	-	-	386
LOBBY WEST	166	-	-	-	-	-	-	166
ELEV EAST	72	72	72	72	72	72	-	432
ELEV WEST	79	79	79	79	79	79	-	474
EXIT STAIR EAST	148	139	165	165	165	165	-	947
EXIT STAIR WEST	152	139	139	139	139	139	-	847
LOUNGE	-	607	142	142	142	142	-	1175
CORRIDORS	-	1532	1782	1782	1782	1765	-	8643
ROOF PATIO (LOBBY & STORAGE)	-	-	-	-	-	162	-	162

AREA / FLR	1003	2568	2379	2379	2379	2524	0	13232
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COMMERCIAL BREAKDOWN

COMMERCIAL BREAKDOWN	TOTAL
CRU #1 (INC BOUTIQUE)	10021
CRU #2 FOOD	2686
CRU #3 FOOD	2302
CRU #4 OFFICE	2961
CRU #5 OFFICE	2324
CRU #6 OFFICE	1682
CRU #7 FOOD	2063
CRU #8 FOOD	3268
UNIT / FLR	3 5
UNIT AREA / FLR	15009 12298

COMM'L COMMON AREAS	L1	L2	L3	L4	L5	L6	ROOF	TOTAL
LOBBY	473	1,045						1518
OPEN TO BELOW		119						119
LOADING	664	-						664
ELEV	72	72						144
EXIT STAIR WEST	158	163						321
EXIT VESTIBULE	-	110						110
BATHROOMS	-	283						283
CORRIDORS	-	873						873
AREA / FLR	1367	2665						4032

SERVICE AREAS	L1	L2	L3	L4	L5	L6	ROOF	TOTAL
ELEC / COMM / SHAFTS	68	179	173	173	173	100	-	866

GROSS FLOOR AREA	21,955	23,550	16,214	16,214	16,214	14,076	0	108,223
NET EFFICIENCY	87.4%	78.0%	84.4%	84.4%	84.4%	82.1%		

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BY

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Issued for DP#2	June 04 2015	CF	---
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CLIENT:

UBC Properties Trust
Client Address
-

PROJECT TITLE:

UBC - Lot E
South Campus
Address
-

DRAWING TITLE:

Cover Sheet
Statistics

NORTH ARROW:

DATE :

DRAWN BY:

JOB NUMBER: 1417

REVISION NO.:

SCALE:

FILE NAME:

SHEET NO.:

A0.00

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CLIENT:	UBC Properties Trust
Client Address	-
-	-
PROJECT TITLE:	UBC - Lot E
	South Campus
Address	-
-	-
DRAWING TITLE:	Context Plan
	Context Photos

NORTH ARROW:	DATE :
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	JOB NUMBER: 1417
	REVISION NO.:
	SCALE:
	FILE NAME:



VIEW 1



VIEW 2



VIEW 3



VIEW 4



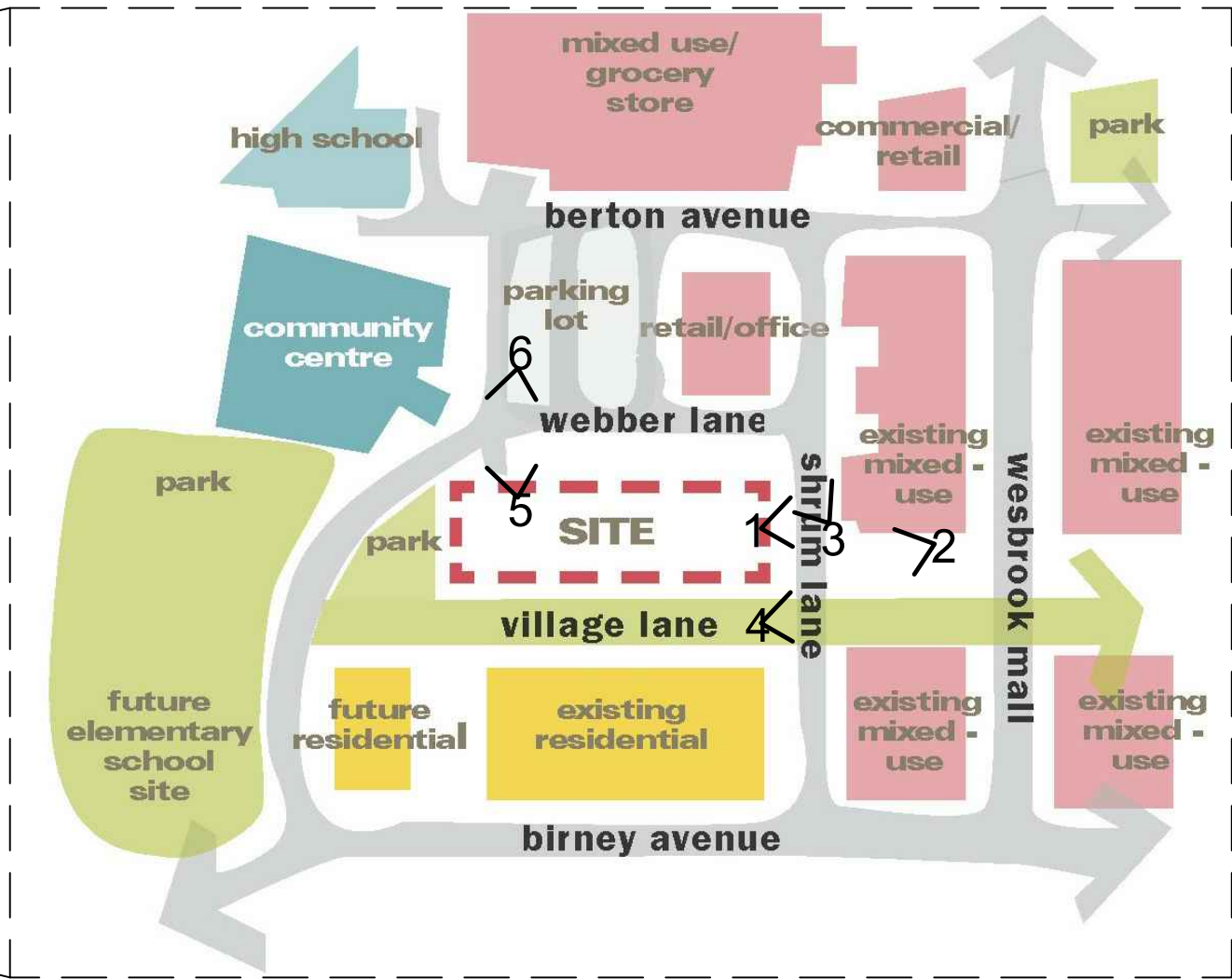
VIEW 5



VIEW 6



1 Location Plan
SCALE: N.T.S.



2 Context Plan
SCALE: N.T.S.

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-	-	-
-	-	-

MEWS
BUILDING
MIXED-USE

1000 ft away

NORMAN
MCKENZIE
SQUARE

CLIENT:

UBC Properties Trust
Client Address

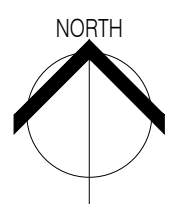
PROJECT TITLE:

UBC - Lot E
South Campus
Address

DRAWING TITLE:

Site Plan

NORTH ARROW:



DATE :

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JOB NUMBER: 1417

REVISION NO.:

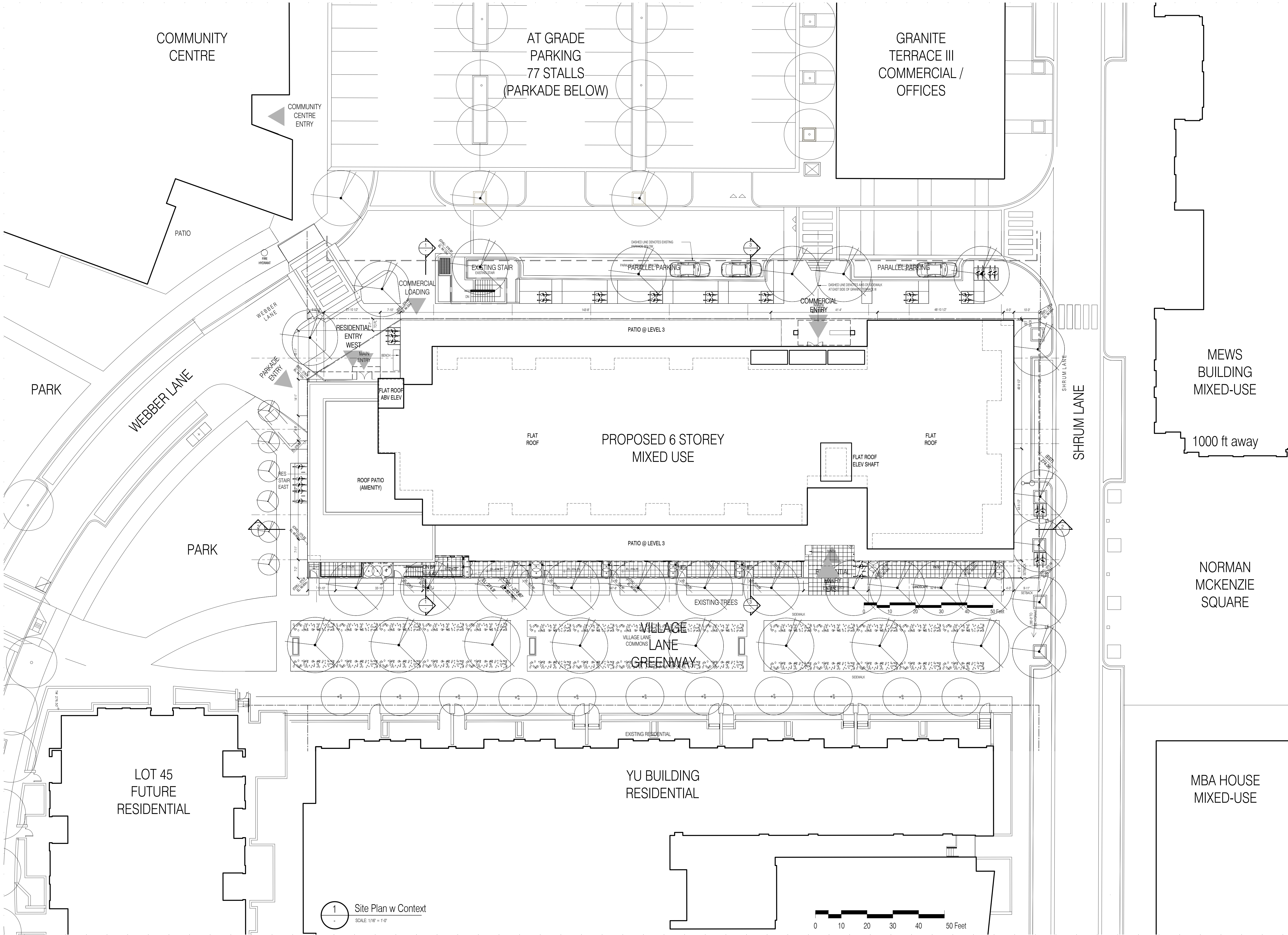
SCALE:

FILE NAME:

SHEET NO.:

A1.01a

Issued for DP#3 - 150706



1 Site Plan w Context
SCALE: 1/16" = 1'-0"

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March 20 - 10AM



March 20 - 12PM



March 20 - 2PM



June 21 - 10AM



June 21 - 12PM



June 21 - 2PM

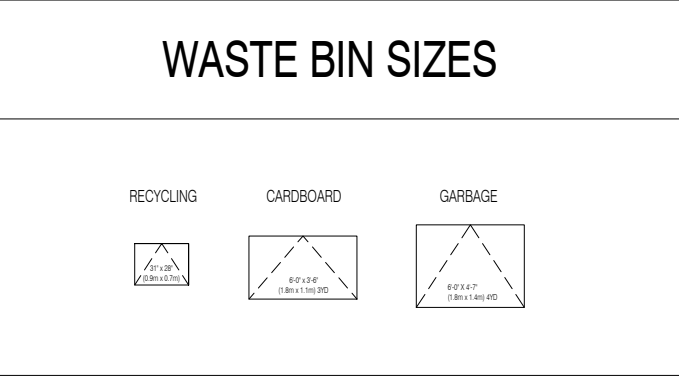
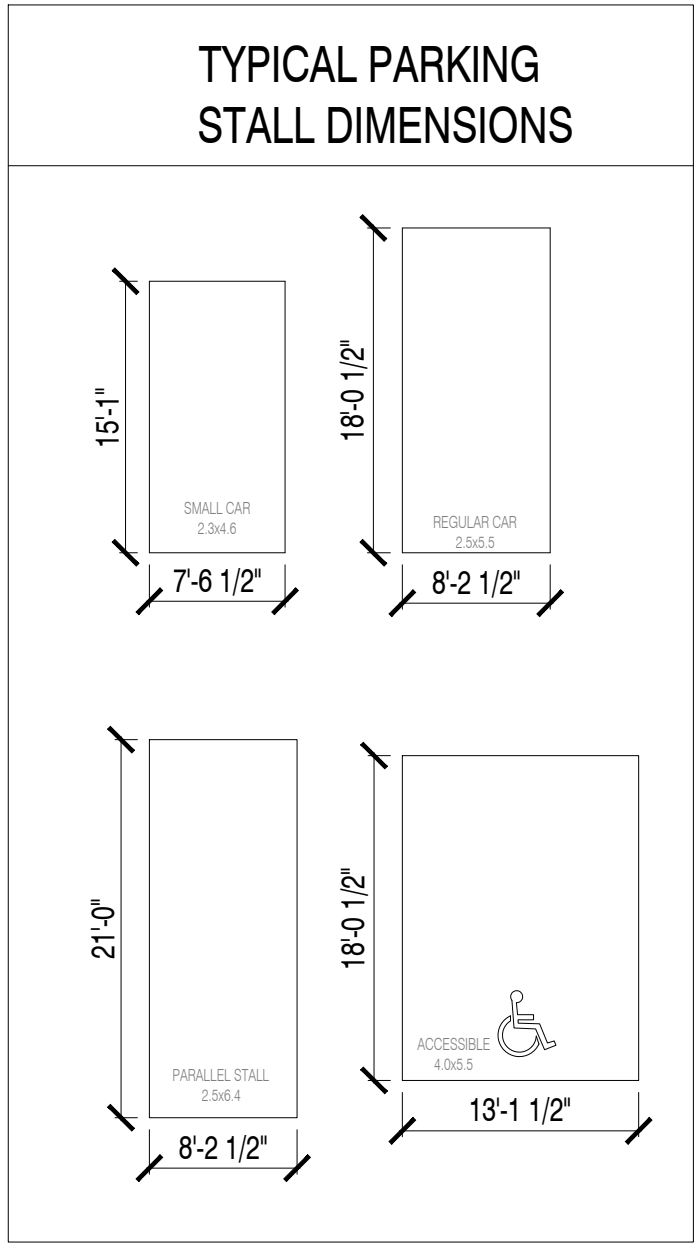
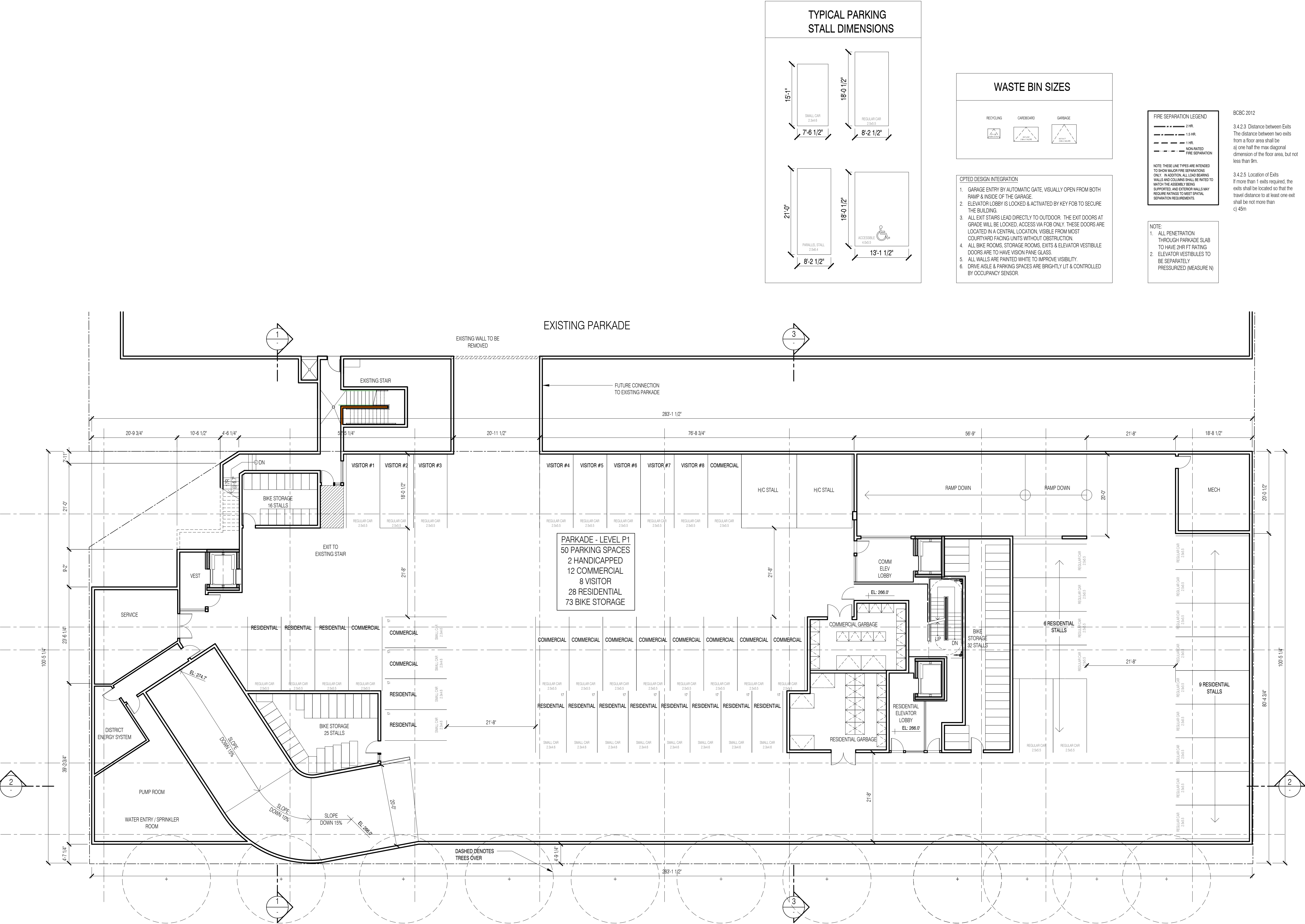
SUMMER SOLSTICE

CLIENT:
UBC Properties Trust
Client Address
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PROJECT TITLE:
UBC - Lot E
South Campus
Address
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DRAWING TITLE:
Shadow Studies

NORTH ARROW:
DATE :
DRAWN BY:
JOB NUMBER: **1417**
REVISION NO.:
SCALE:
FILE NAME:



- CEPT DESIGN INTEGRATION**
- GARAGE ENTRY BY AUTOMATIC GATE, VISUALLY OPEN FROM BOTH RAMP & INSIDE OF THE GARAGE.
 - ELEVATOR LOBBY IS LOCKED & ACTIVATED BY KEY FOB TO SECURE THE BUILDING.
 - ALL EXIT STAIRS LEAD DIRECTLY TO OUTDOOR. THE EXIT DOORS AT GRADE WILL BE LOCKED, ACCESS VIA FOB ONLY. THESE DOORS ARE LOCATED IN A CENTRAL LOCATION, VISIBLE FROM MOST COURTYARD FACING UNITS WITHOUT OBSTRUCTION.
 - ALL BIKE ROOMS, STORAGE ROOMS, EXITS & ELEVATOR VESTIBULE DOORS ARE TO HAVE VISION PANE GLASS.
 - ALL WALLS ARE PAINTED WHITE TO IMPROVE VISIBILITY.
 - DRIVE AISLE & PARKING SPACES ARE BRIGHTLY LIT & CONTROLLED BY OCCUPANCY SENSOR.

FIRE SEPARATION LEGEND

2 HR. 1.5 HR. 1 HR. NON-RATED FIRE SEPARATION

NOTE: THESE LINE TYPES ARE INTENDED TO SHOW MAJOR FIRE SEPARATIONS ONLY. IN ADDITION, ALL LOAD BEARING WALLS AND COLUMNS SHALL BE RATED TO MATCH THE ASSEMBLY BEING SUPPORTED, AND EXTERIOR WALLS MAY REQUIRE RATINGS TO MEET SPATIAL SEPARATION REQUIREMENTS.

NOTE:

- ALL PENETRATION THROUGH PARKADE SLAB TO HAVE 2HR FT RATING
- ELEVATOR VESTIBULES TO BE SEPARATELY PRESSURIZED (MEASURE N)

BCBC 2012

3.4.2.3 Distance between Exits
The distance between two exits from a floor area shall be a) one half the max diagonal dimension of the floor area, but not less than 9m.

3.4.2.5 Location of Exits
If more than 1 exits required, the exits shall be located so that the travel distance to at least one exit shall be not more than c) 45m

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-	-	-

CLIENT:
UBC Properties Trust
Client Address

PROJECT TITLE:
**UBC - Lot E
South Campus**
Address

DRAWING TITLE:
Level P1 - Parkade

NORTH ARROW:

DATE :
DRAWN BY:
JOB NUMBER: **1417**
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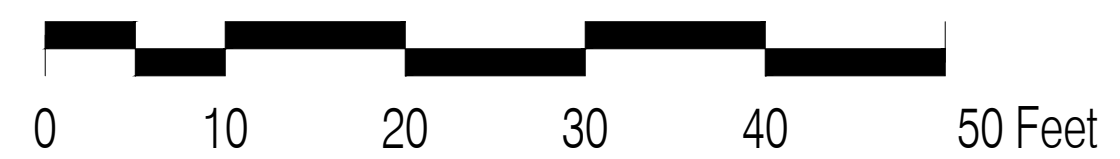
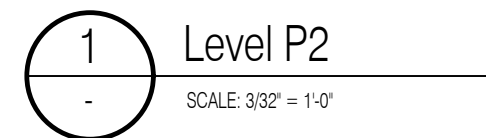
UBC Properties Trust

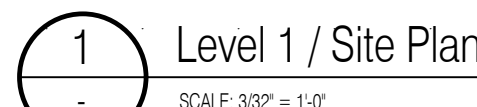
Client Address

DRAWING TITLE:
Level P2 - Parkade

DATE :
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JOB NUMBER: 1417
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FILE NAME:

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A2.00a





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CLIENT:
UBC Properties Trust
Client Address
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PROJECT TITLE:
UBC - Lot E
South Campus
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DRAWING TITLE:
Level 1 Mezzanine

NORTH ARROW:
NORTH
DATE :
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JOB NUMBER: 1417
REVISION NO.:
SCALE:
FILE NAME:

SHEET NO.:
A2.01a

Issued for DP#3 - 150706

1 Level 1 Mezzanine
SCALE: 3/32" = 1'-0"

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NORTH ARROW:

DATE :

DRAWN BY:

JOB NUMBER: **1417**

REVISION NO.:

SCALE:

FILE NAME:



HEET NO.:
A2.02

