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1	ISSUED FOR REVIEW	18-10-16

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Student Union Blvd
Vancouver, BC, V6T 2C9

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Reviewed:	DS
Project No.	06-627

LANDSCAPE
COVER PAGE

UBC PACIFIC RESIDENCE
LANDSCAPE SET: ISSUED FOR ADVISORY URBAN DESIGN PANEL
JANUARY 10, 2019

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GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER LANDSCAPE ARCHITECTURAL DRAWINGS, DETAILS, SPECIFICATIONS, AND OTHER CORRESPONDANCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

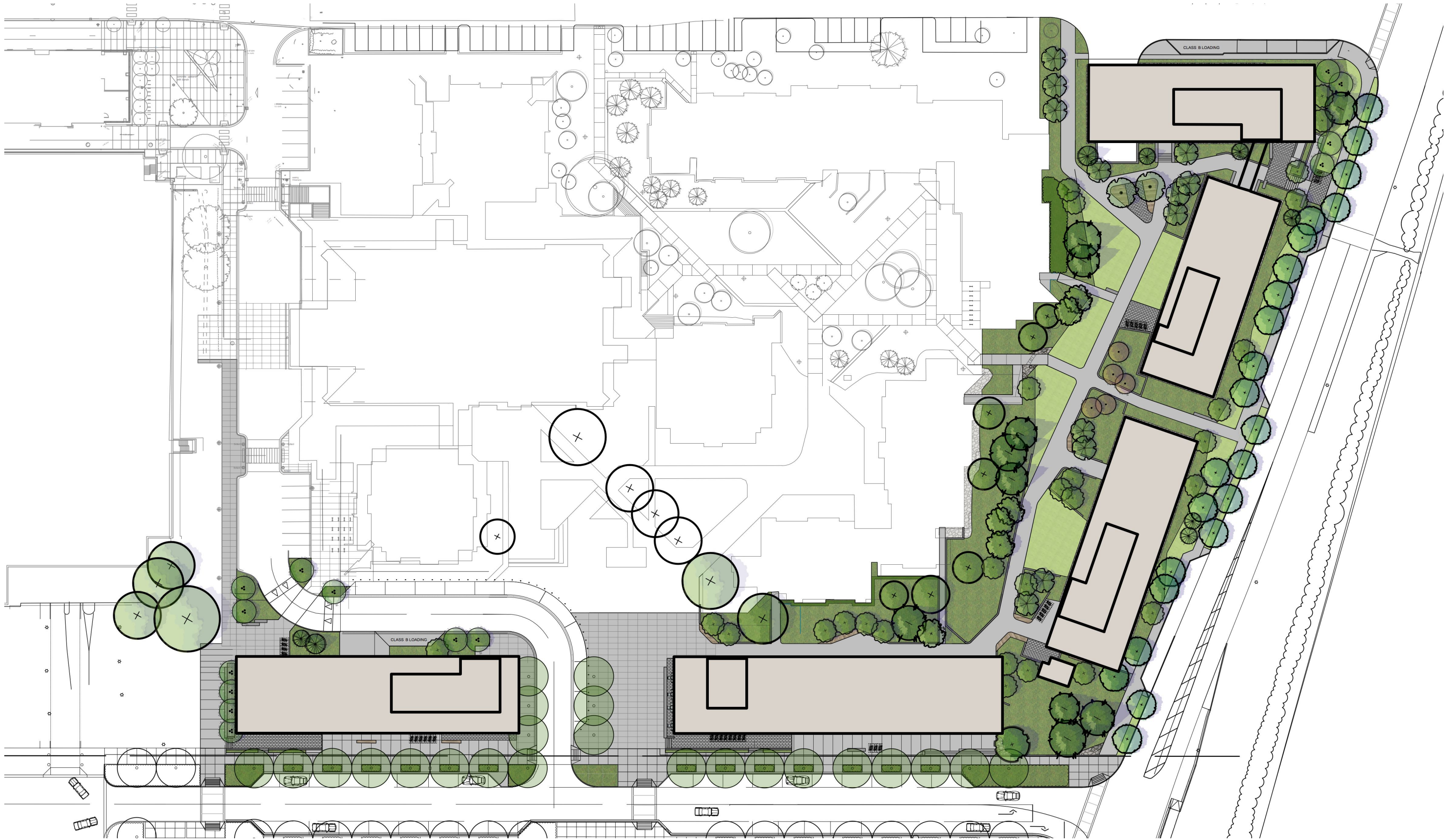
ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE.

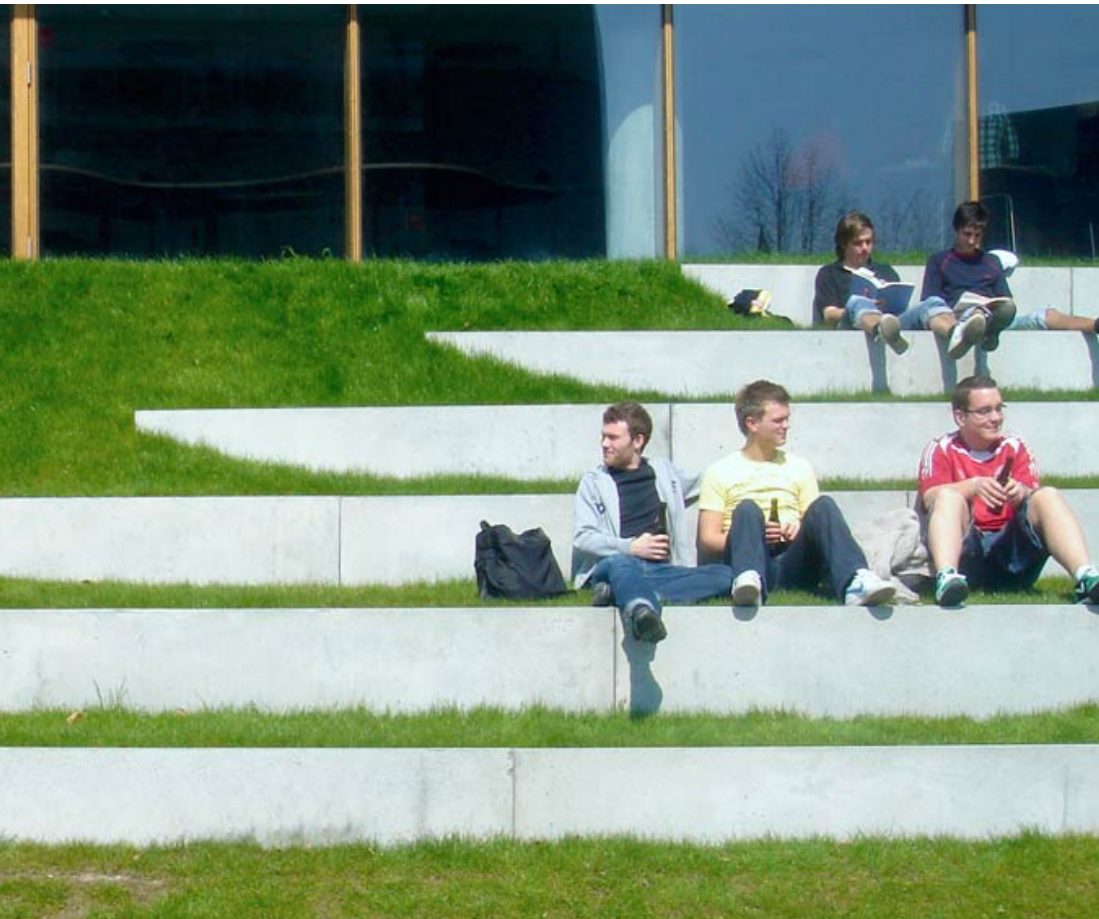
ALL PLANTING SHALL BE IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARD, LATEST EDITION.

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FINAL SELECTION AND APPROVAL OF ALL STREET TREES TO BE DONE BY UBC.

ALL CONSTRUCTION, DETAILS, MATERIALS, PRODUCTS, AND SPECIFICATIONS TO MEET UBC STANDARDS AND UBC DESIGN GUIDELINES.





LANDSCAPE DESIGN CONCEPT

THIS INFILL PROJECT IS A TRANSITION ZONE BETWEEN ESTABLISHED EXISTING BUILDINGS AND LANDSCAPE, AND AN UPGRADED WESBROOK MALL, WHICH IS A KEY TRAVEL CORRIDOR. AS SUCH IT ENHABITS THE SAME CONDITIONS AS THE EDGE OF A FOREST OR THE EDGE OF THE OCEAN, WHERE THE LARGER AND MORE ESTABLISHED WOODLAND TRANSITIONS TO A MORE OPEN CONDITION. IN THIS STUDENT ECOTONE AREA THERE IS THE OPPORTUNITY FOR MOVEMENT, EDDIES, AND MINGLING.

THE KEY FOCUS IS A FUNCTIONAL PEDESTRIAN CORRIDOR THAT HELPS LINK MANY OF THE SURROUNDING SPACES. THIS IS DESIGNED TO FLOW AND PROVIDE QUICK AND UNIMPEDED MOVEMENT OF STUDENTS, AND TIE INTO THE EXISTING PATH NETWORK. OPPORTUNITIES TO STOP AND USE SITE EDGES ALLOW FOR THE SPACES TO BE MORE THAN CORRIDORS. WALLS AND NOOKS WILL PROVIDE OPTIONS TO USE THE OUTDOOR SPACES, AND PROVIDE LIFE AROUND THE BUILDINGS.

LANGUAGE OF THE LANDSCAPE DESIGN SHIFTS AS ONE MOVES FROM THE ESTABLISHED LANDSCAPE OF THE ADJACENT BUILDINGS TOWARDS THE BUSY MALL OR STUDENT UNION BOULEVARD. THE PLANTING, LANDSCAPE FORMS, AND MATERIALS WILL ALL TRANSITION FROM MORE MORE NATURAL TO MORE FORMAL CHARACTER. THIS WILL FUNCTIONALLY FIT INTO THE NEED FOR FLEXIBLE FORMS TO FIT WITH THE EXISTING EDGE CONDITIONS, AND CHANGE TO THE MORE RATIONAL FORMS OF THE STREET EDGES. THE EXISTING GRID IS REFERENCED, WITH ADJUSTMENT TO THE BUILDING FORMS, AND SMALL TOUCHES TO GIVE CHARACTER SPECIFIC TO THIS AREA.

SCALE OF MATERIALS (PLANTING AND HARD MATERIALS), AND THE SCALE OF SPACES, CHANGE WITH THIS TRANSITION. THE INNER SPACES HAVE LARGER TREES, MORE NATIVE PLANTS, AND MORE INTIMATE SPACES. AS YOU MOVE TOWARDS THE STREETS, THE SPACES OPEN UP AND BECOME MORE POROUS. ELEMENTS OF THE MORE NATURAL FORMS FLOW OUT AND HINT AT THE CHARACTER BEHIND THE BUILDINGS.

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LANDSCAPE DESIGN CONCEPT

PATHWAYS AND NODES



FORM AND CHARACTER, GREENWAY QUALITIES



PATHWAY FLOW, CAMPUS GEOMETRY



SEAT WALLS, SMALL SEATING NOOKS



TREE CANOPY, SCALE OF GREENERY, VISIBILITY



FEATURE SPACES WITH SEAT WALLS



SEATING EDGES AS RETAINING



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CONCEPT PRECEDENTS

MATERIALS AND FORMS



TIMBER (COMPOSITE) SEATING ON WALL EDGES



RAISED PLANTERS ON SLAB



WALLS AT SEATING HEIGHT



NATIVE PLANTS AND ROCK



EVERGREEN AND SHADE



PLAZA CANOPY



CONCRETE WALLS



PAVING MATERIALS



UBC STANDARD BIKE RACK



RESYSTA COMPOSITE DECK FOR CUSTOM BENCHTOPS

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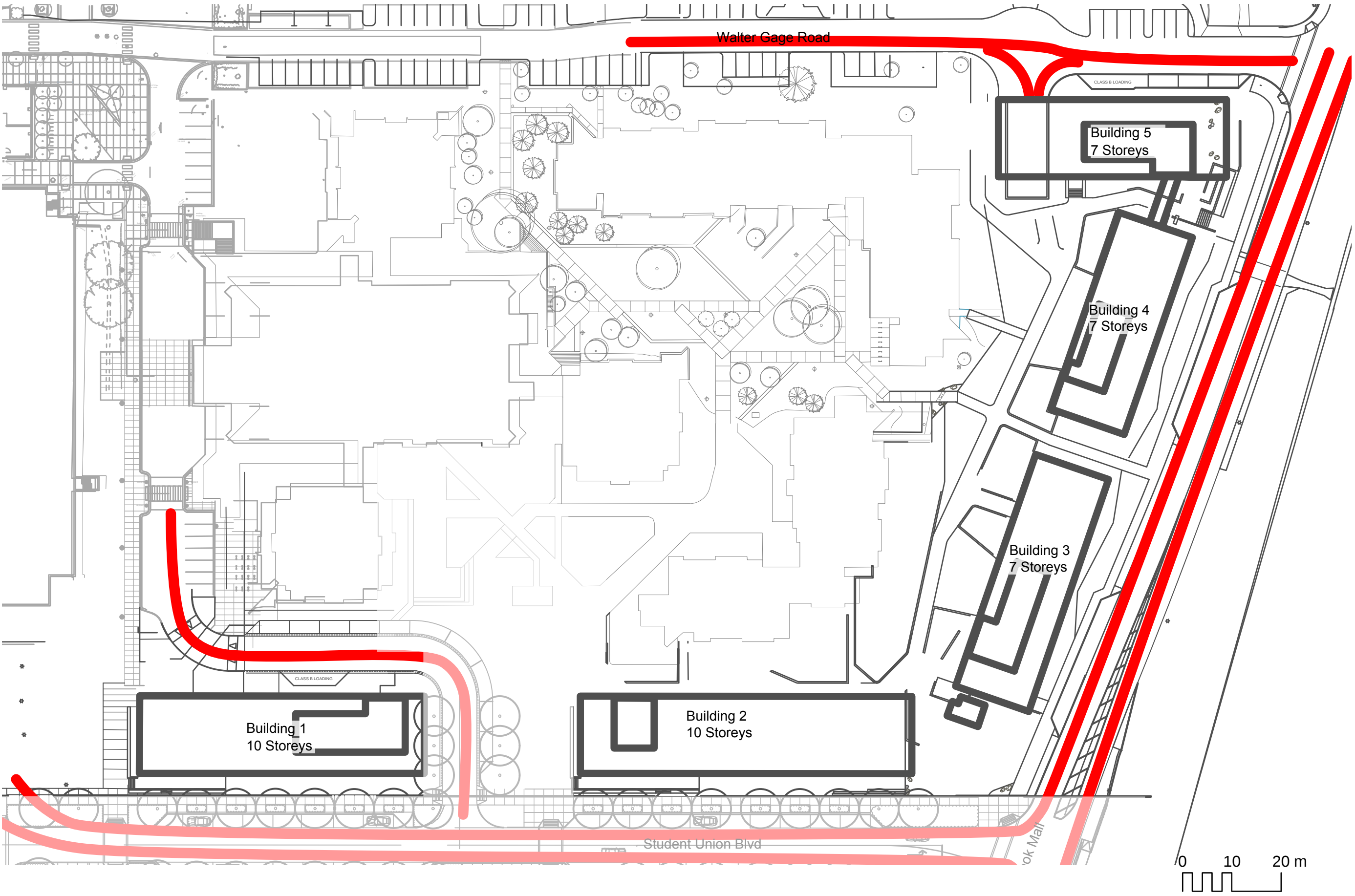
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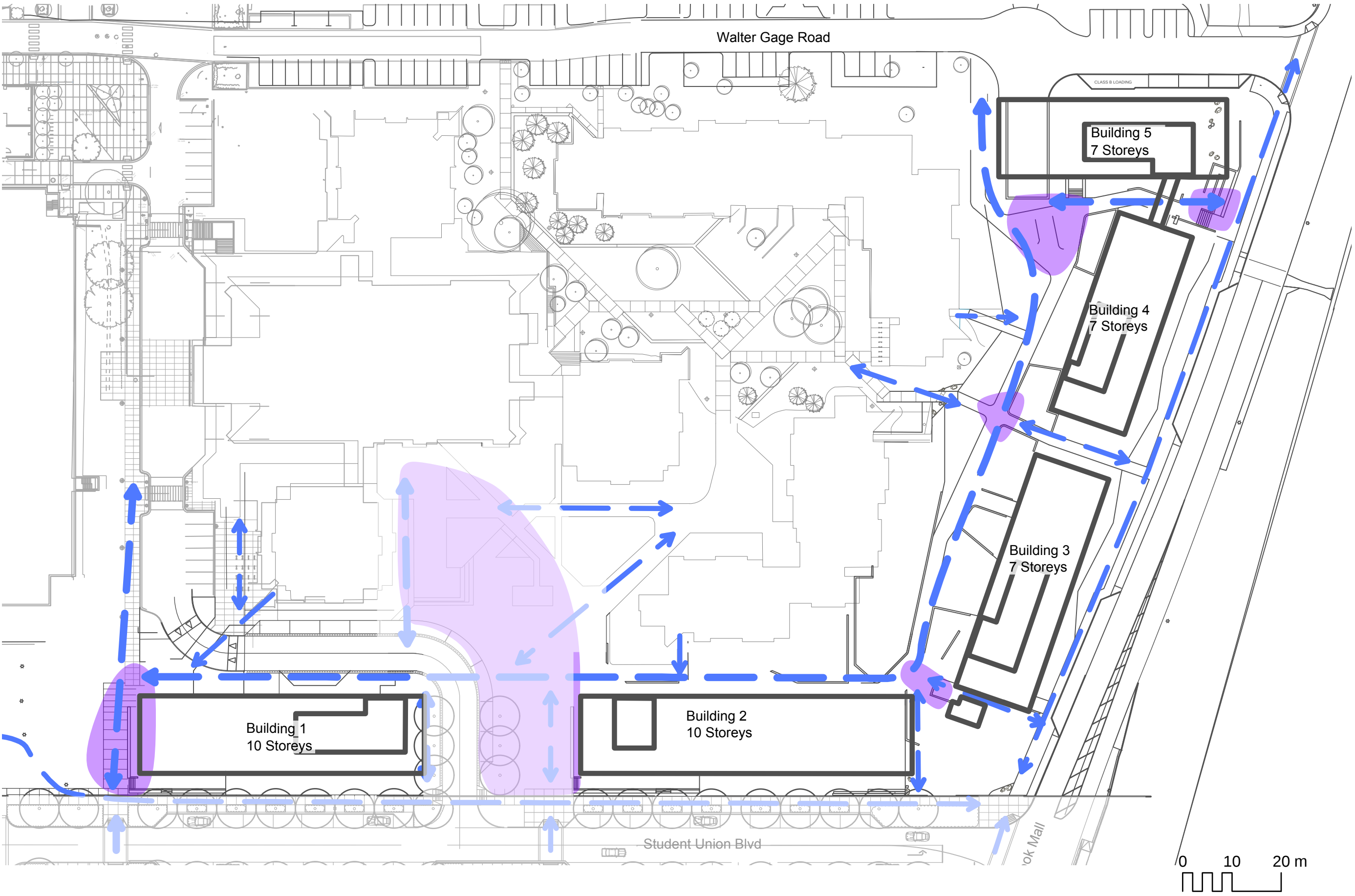
CONCEPT MATERIALS

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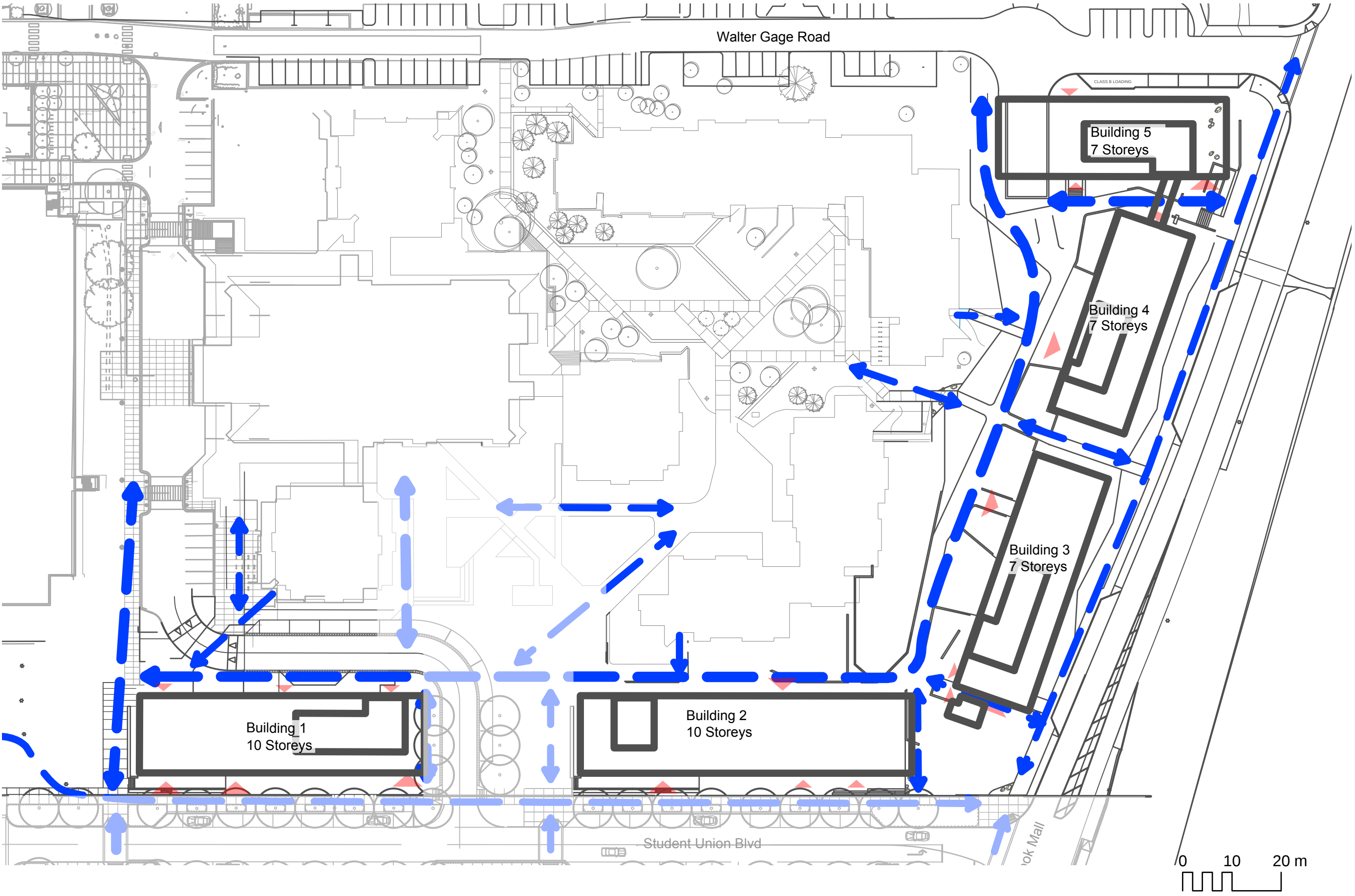
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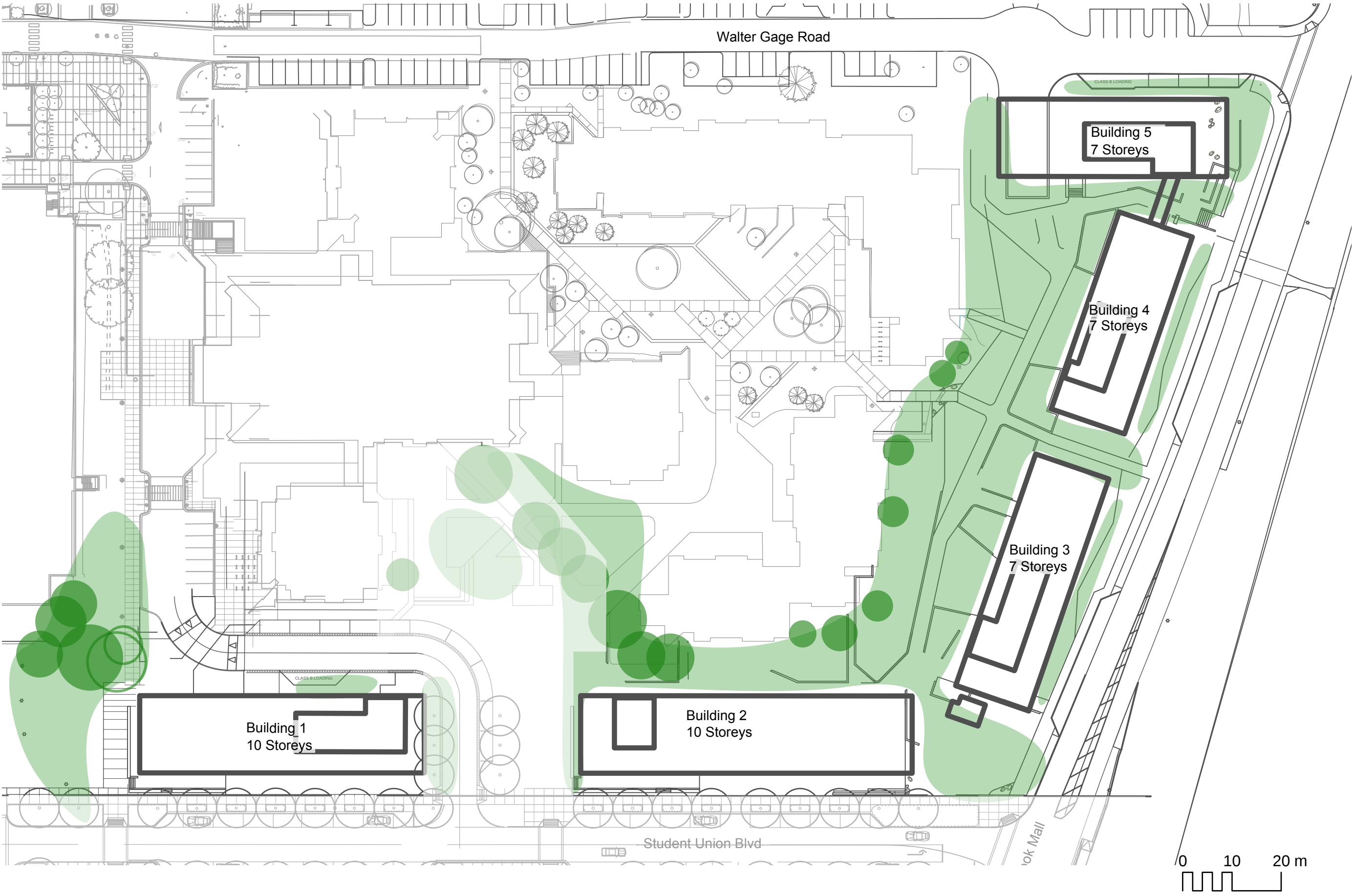
VEHICULAR MOVEMENT



KEY SPACES



PEDESTRIAN HIERARCHY



VEGETATION

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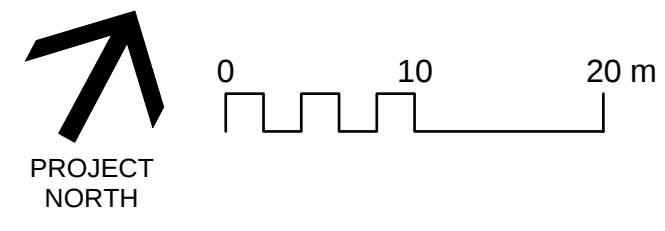
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ANALYSIS DIAGRAMS

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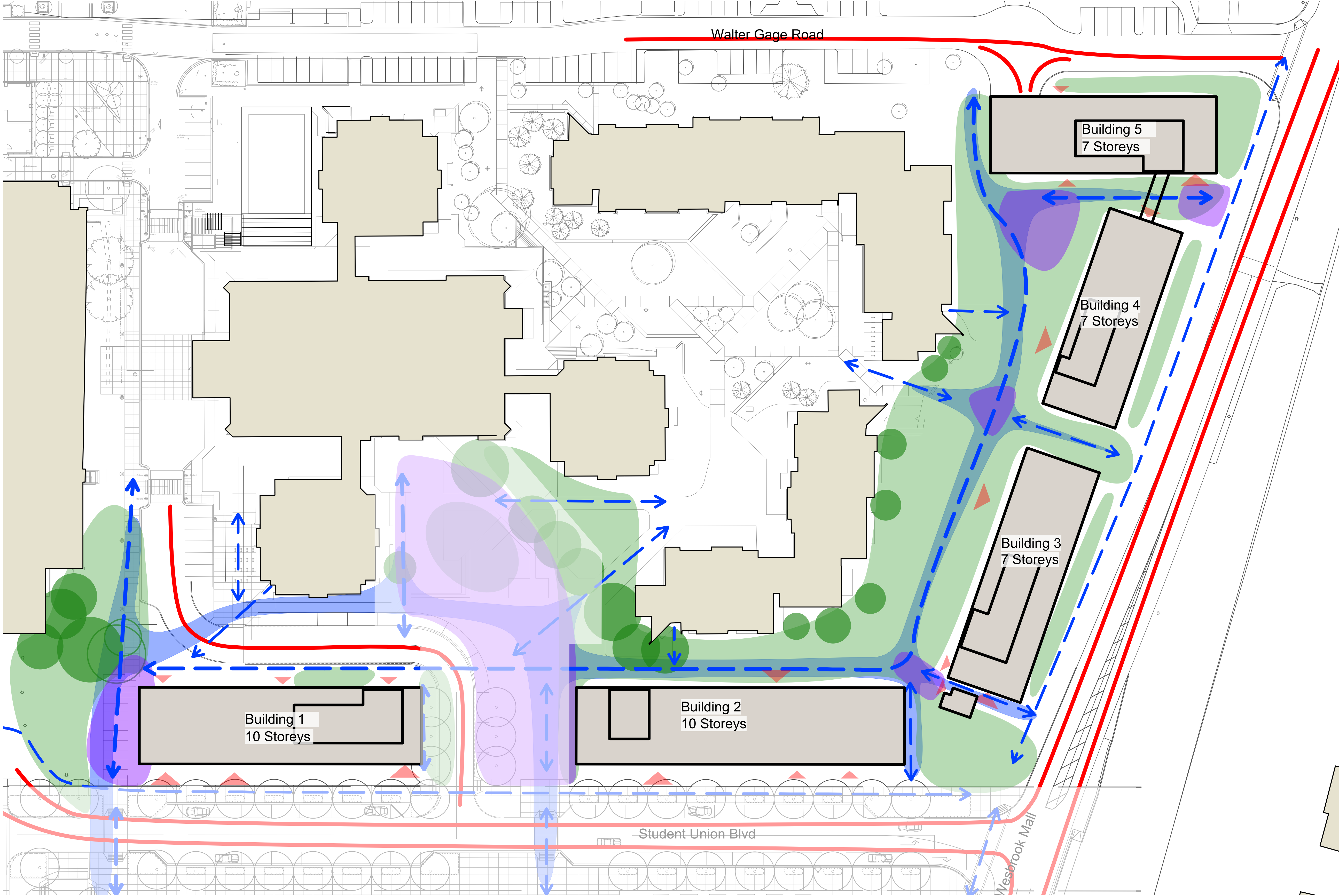
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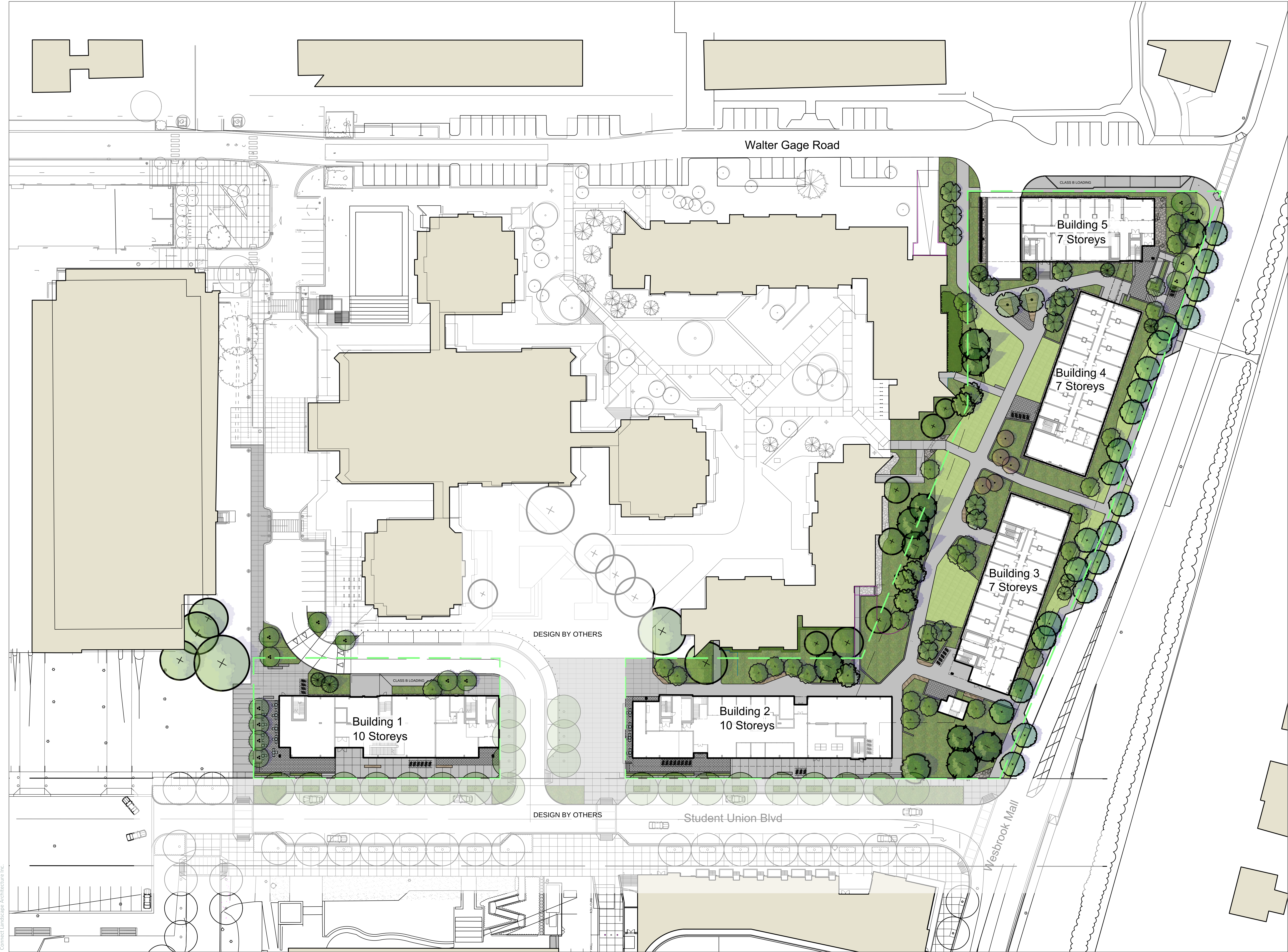
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CONCEPTUAL
SPACE PLANNING





connect

LANDSCAPE ARCHITECTURE

2305 Hemlock St, Vancouver BC, V6H 2V1
T 604 681 3303 F 604 681 3307
www.connectla.ca

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PROJECT NORTH

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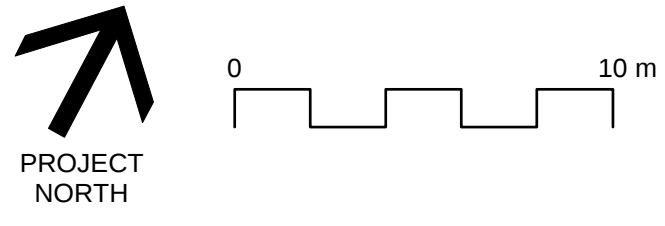
LANDSCAPE CONCEPT

L1.3



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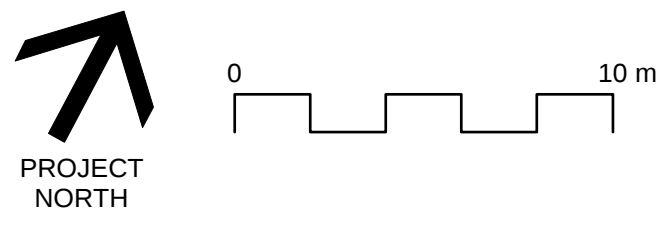
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LANDSCAPE CONCEPT NORTH-EAST



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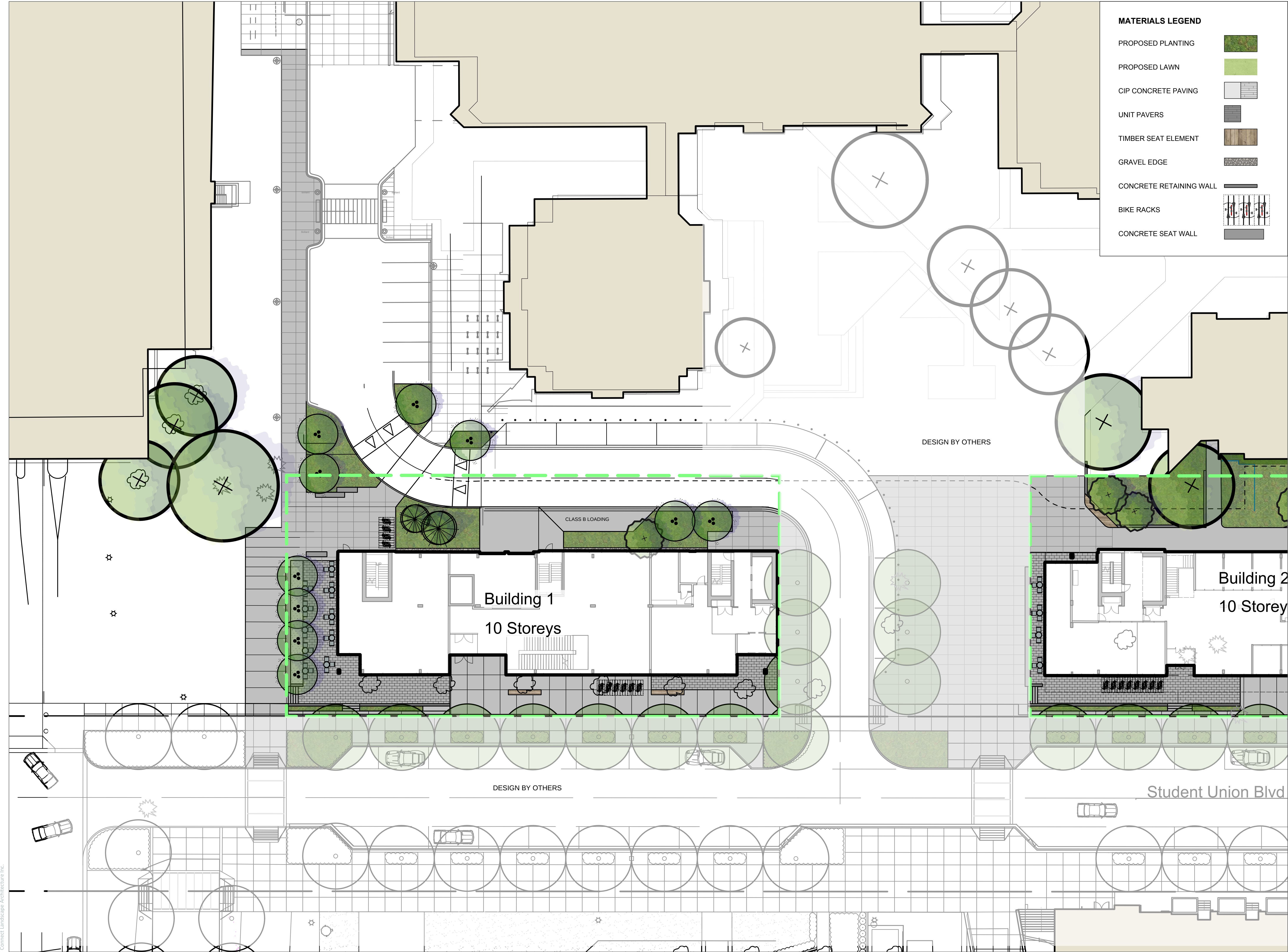
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LANDSCAPE CONCEPT SOUTH-EAST

L1.5



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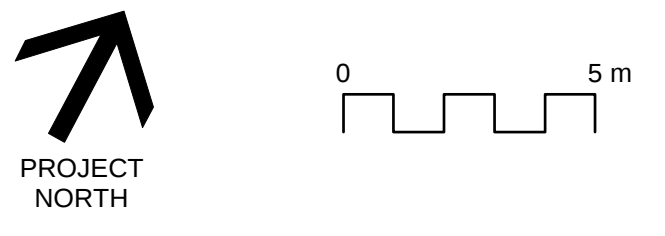
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LANDSCAPE CONCEPT
SOUTH-WEST

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LANDSCAPE CONCEPT DESIGN OPTIONS

L1.7



NORTHERN NODE ALTERNATE 1 PATHWAY REDUCTION

GRADES OF THE SPACES ARE USED TO RAISE THE LAWN AND
CREATE A HEIGHT DIFFERENCE TO THE PATHWAY. THIS ALLOWS
FOR A NATURAL FEELING STEP-UP TO THE LAWN, AND THE
OPPORTUNITY TO CREATE SOME SEATING LEDGES. THIS
MINIMIZES THE AMOUNT OF PAVING AND HARDSCAPE
ELEMENTS IN FAVOUR OF MORE LAWN. ELEVATION
DIFFERENCES MINIMIZE SHORT-CUTTING THROUGH THE LAWN.

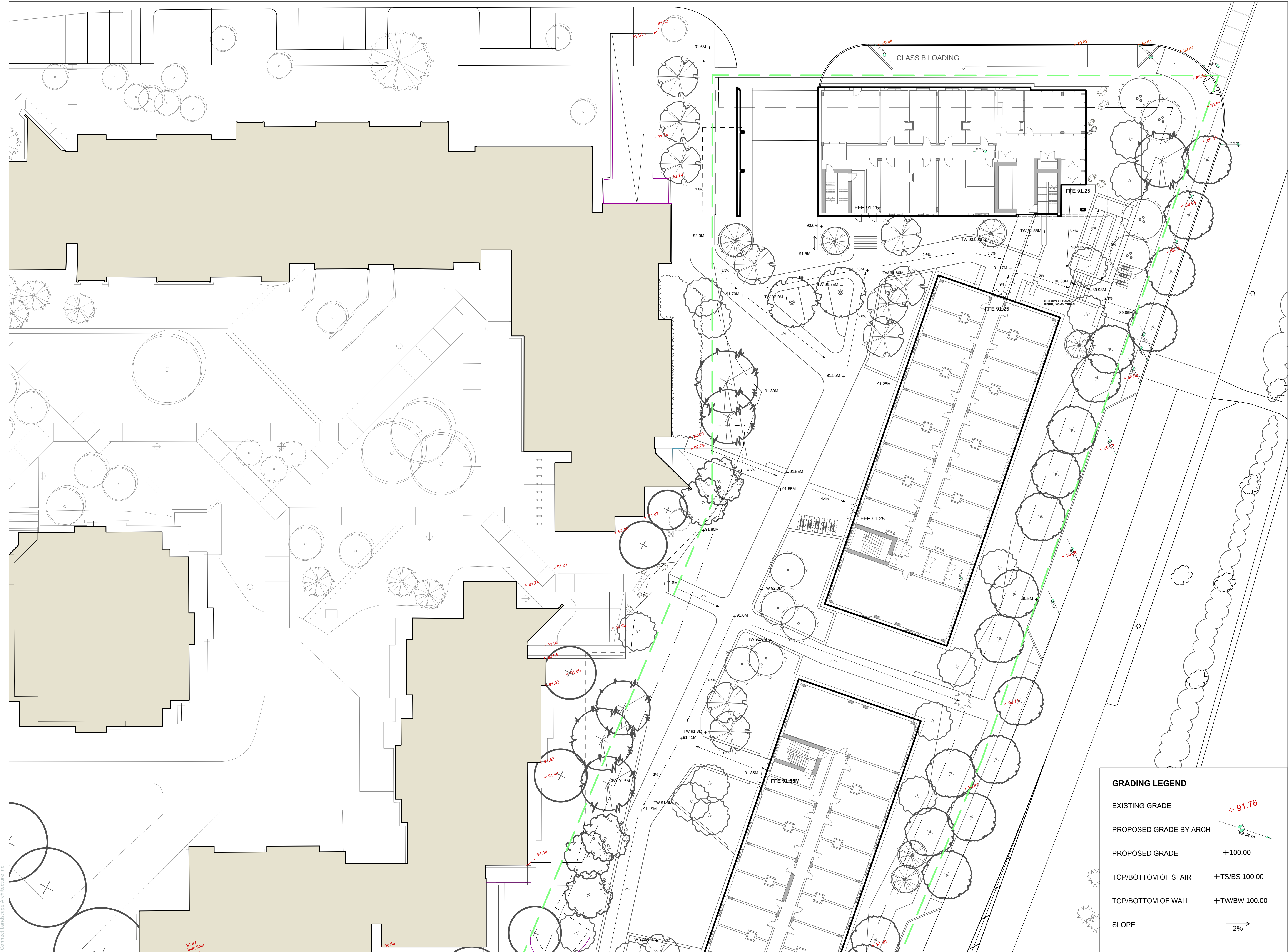


NORTHERN NODE ALTERNATE 2 SIMPLE SPACE

THE SPACE BETWEEN THE DESIRE-LINE ESTABLISHED PATHS ARE
KEPT AS A SIMPLE OPEN SPACE OF LAWN. COLOURFUL LOUNGE
CHAIRS SET IN THE LAWN PROVIDE A SIMPLE FOCAL POINT TO
AN OTHEWISE VISUAL PASSIVE SPACE.

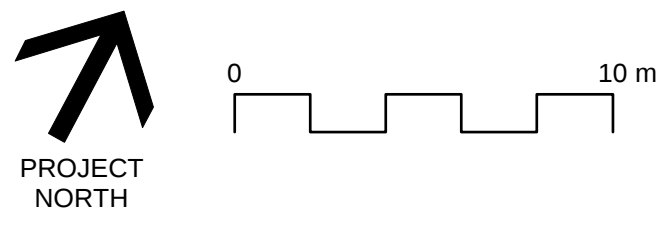
NORTHERN NODE MAIN CONCEPT SEATING PLATFORMS

SEAT PLATFORMS ARE CREATED TO PROVIDE INTERESTING AND
FLEXIBLE SEATING ELEMENTS. SEPARATING THE EAST AND WEST
PLATFORMS DEFINES A MINI-PLAZA, AND ALLOWS FOR
CONVERSATIONAL SEATING, AS WELL AS MANAGING THE
GRADES. SMALL TREES IN THE PLATFORMS PROVIDE VISUAL
INTEREST, SUMMER SHADE, AND SOME ENCLOSURE TO THE
SPACE. PATHWAY FORMS ALLOW FOR THE EASIEST DESIRE LINES
FOR STUDENTS.



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LANDSCAPE GRADING
NORTH-EAST

L2.1

GRADING LEGEND

EXISTING GRADE

PROPOSED GRADE BY ARCH

PROPOSED GRADE

TOP/BOTTOM OF STAIR

TOP/BOTTOM OF WALL

SLOPE

+91.76

+100.00

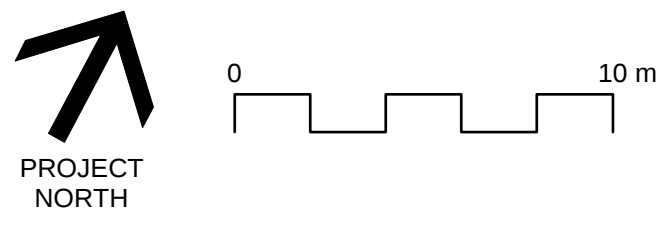
+TS/BS 100.00

+TW/BW 100.00

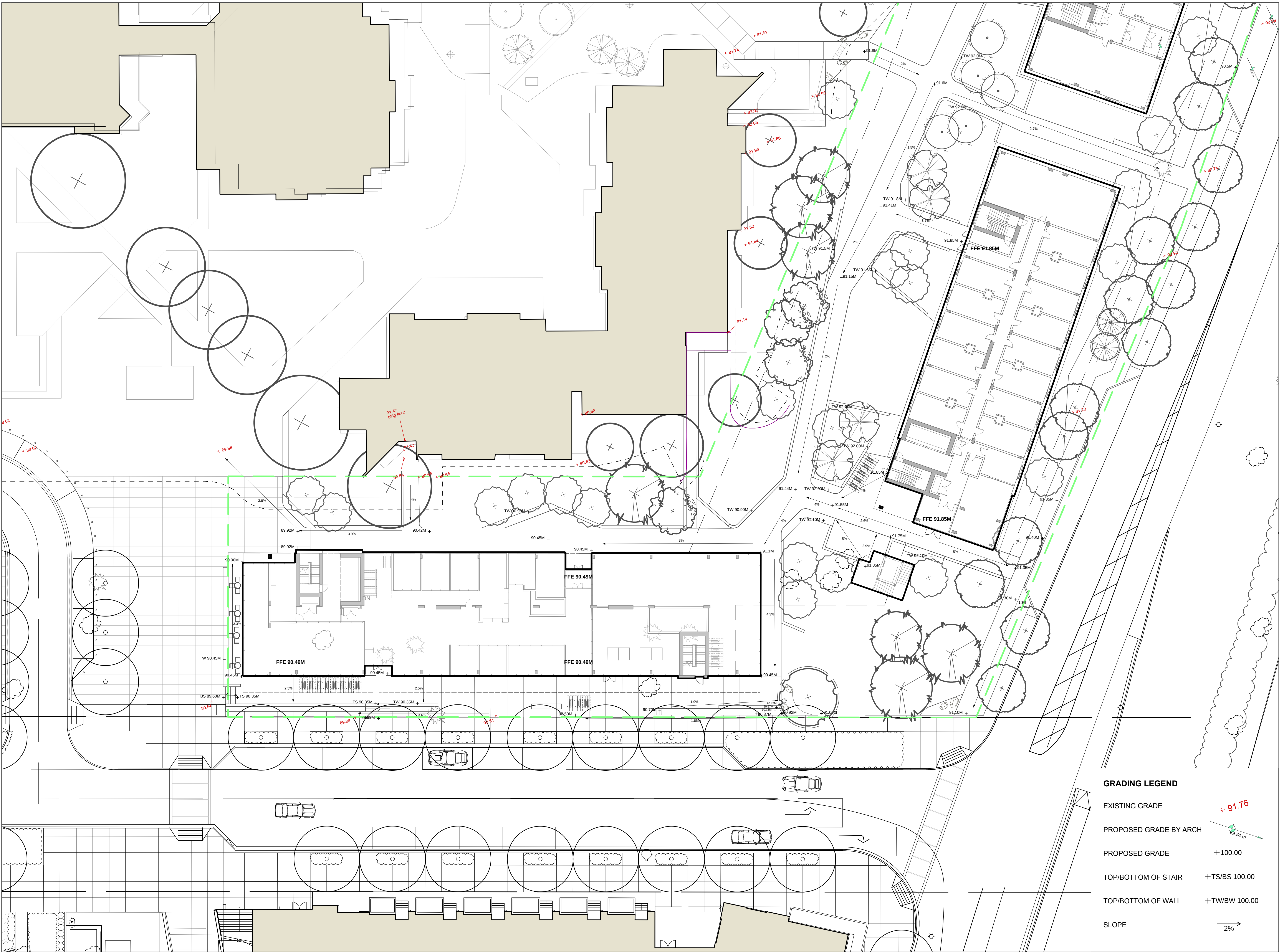
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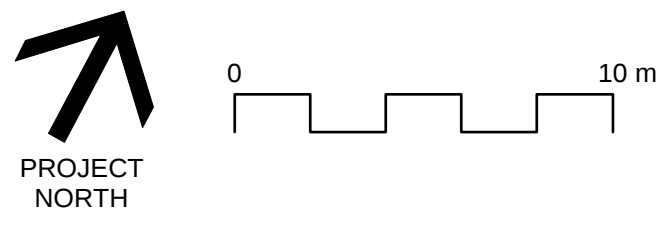


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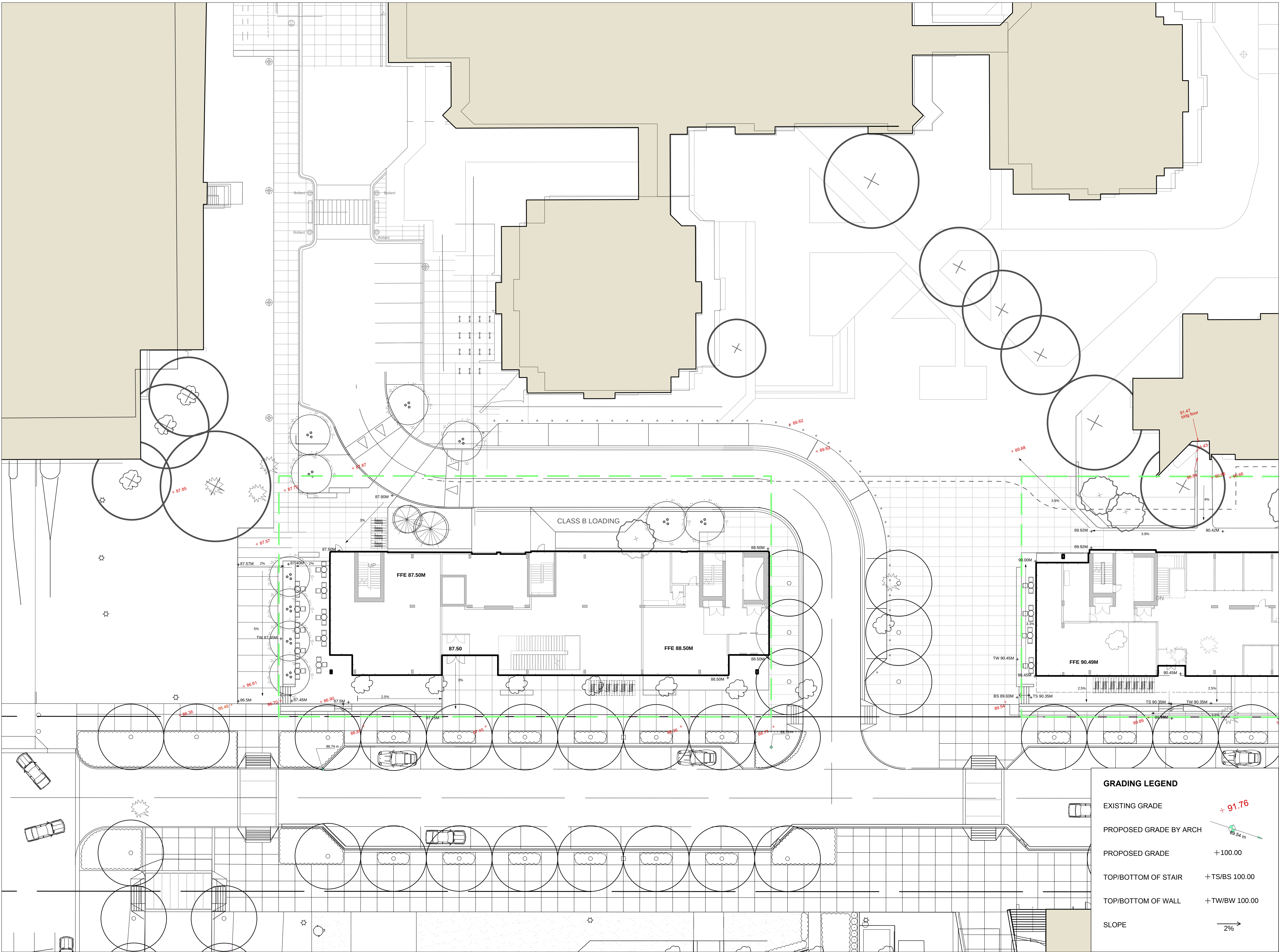


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1	ISSUED FOR REVIEW	18-10-16

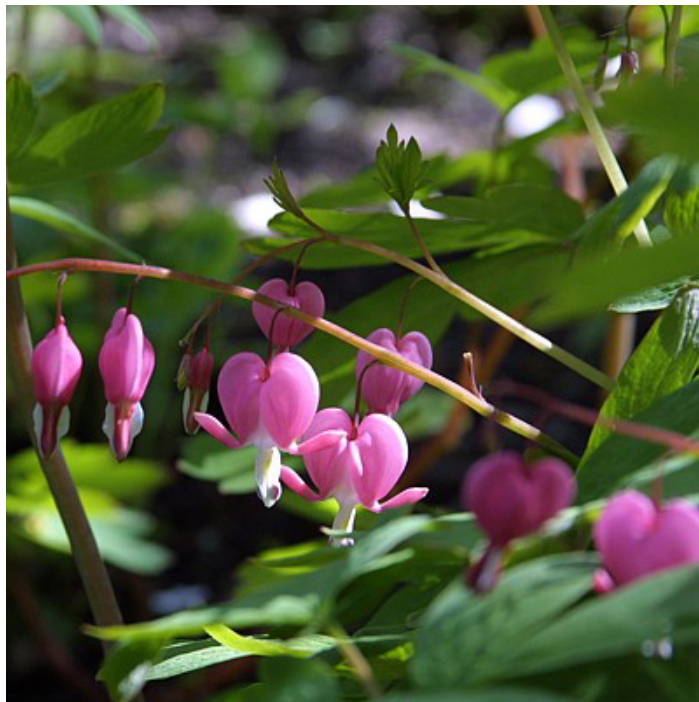




EVERGREEN AND SHADE



LAYERED PLANTINGS



Dicentra formosa
Bleeding Heart



Pachysandra terminalis
Japanese Spurge



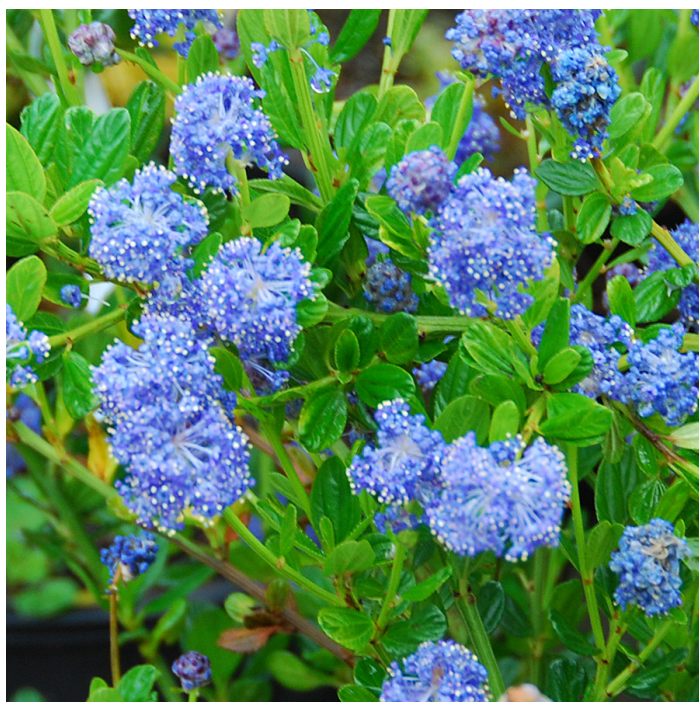
Hosta sieboldianai
Hosta



Polystichum munitum
Western Sword Fern



Lavandula angustifolia
English Lavender



Ceanothus 'Victoria'
California Lilac



Lonicera pileata
Box-Leaf Honeysuckle



Taxus baccata 'Fastigiata'
Irish Yew

PLANT LIST					
TREES QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	
10	Abies grandis	Grand Fir	4.5m ht., B&B	as shown	
28	Acer circinatum	Vine Maple	5cm cal., B&B	as shown	
14	Acer griseum	Paper Bark Maple	5cm cal., B&B	as shown	
5	Acer palmatum 'Osakazuki'	Osakazuki Japanese Maple	3m ht., B&B	as shown	
23	Acer platinoides	Norway Maple	6cm cal., B&B	as shown	
1	Cercis canadensis	Eastern Redbud	5cm cal., B&B	as shown	
2	Ginkgo biloba	Ginkgo Tree	6cm cal., B&B	as shown	
8	Picea breweriana	Brewers Spruce	3.5m ht., B&B	as shown	
12	Stewartia pseudocamellia	Japanese Stewartia	5cm cal., B&B	as shown	
6	Styrax japonica	Japanese Styrax	6cm cal., B&B	as shown	
SHRUBS					
	Buxus microphylla	Little Leaf Boxwood	#5 pot	18" o.c	
	Ceanothus thyrsiflorus 'Victoria'	Victoria California Lilac	#5 pot	36" o.c	
	Cornus stolonifera	Red Osier Dogwood	#5 pot	36" o.c	
	Forsythia x intermedia	Forsythia	#5 pot	48" o.c	
	Ilex crenata 'Convexa'	Japanese Holly	#3 pot	30" o.c	
	Lonicera piliata	Box-Leaf Honeysuckle	#3 pot	30" o.c	
	Polystichum munitum	Western Sword Fern	#1 pot	24" o.c	
	Rhododendron 'Crete'	Pink Rhododendron	#5 pot	36" o.c	
	Rhododendron 'Hotei'	Yellow Rhododendron	#5 pot	36" o.c	
	Rhododendron 'Ken Janeck'	Pink Yaku Rhododendron	#3 pot	24" o.c	
	Sarcococca hookerana 'Humilis'	Himalayan Sweet Box	#2 pot	24" o.c	
	Skimmia japonica	Japanese Skimmia	#2 pot	24" o.c	
	Spiraea x bumulda 'Goldflame'	Goldflame Spiraea	#2 pot	24" o.c	
	Taxus baccata 'Fastigiata'	Irish Yew	1.2m ht., B&B	24" o.c	
GROUND COVERS AND VINES					
	Fragaria chiloensis	Beach Strawberry	4"(10cm) pot	15" o.c	
	Rubus calycinoides	Emerald Carpet	4"(10cm) pot	15" o.c	
	Oxalis crassipes	Redwood Spurge	4"(10cm) pot	15" o.c	
	Pachysandra terminalis	Japanese Spurge	4"(10cm) pot	15" o.c	
PERENNIALS, GRASSES, BULBS, AND ANNUALS					
	Dicentra formosa	Western Bleeding Heart	#1 pot	18" o.c	
	Echinacea purpurea	Purple Coneflower	#1 pot	18" o.c	
	Hemerocallis 'Stella D'Oro'	Day Lily	#1 pot	18" o.c	
	Hosta sieboldiana	Hosta	#1 pot	18" o.c	
	Lavandula angustifolia	English Lavender	#1 pot	18" o.c	
	Liriope muscari	Lily-turf	#1 pot	18" o.c	
	Stipa tenuissima	Mexican Feather Grass	#1 pot	24" o.c	

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REVISIONS

UBC PROPERTIES TRUST

UBC PACIFIC RESIDENCE

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Vancouver, BC, V6T 2C9

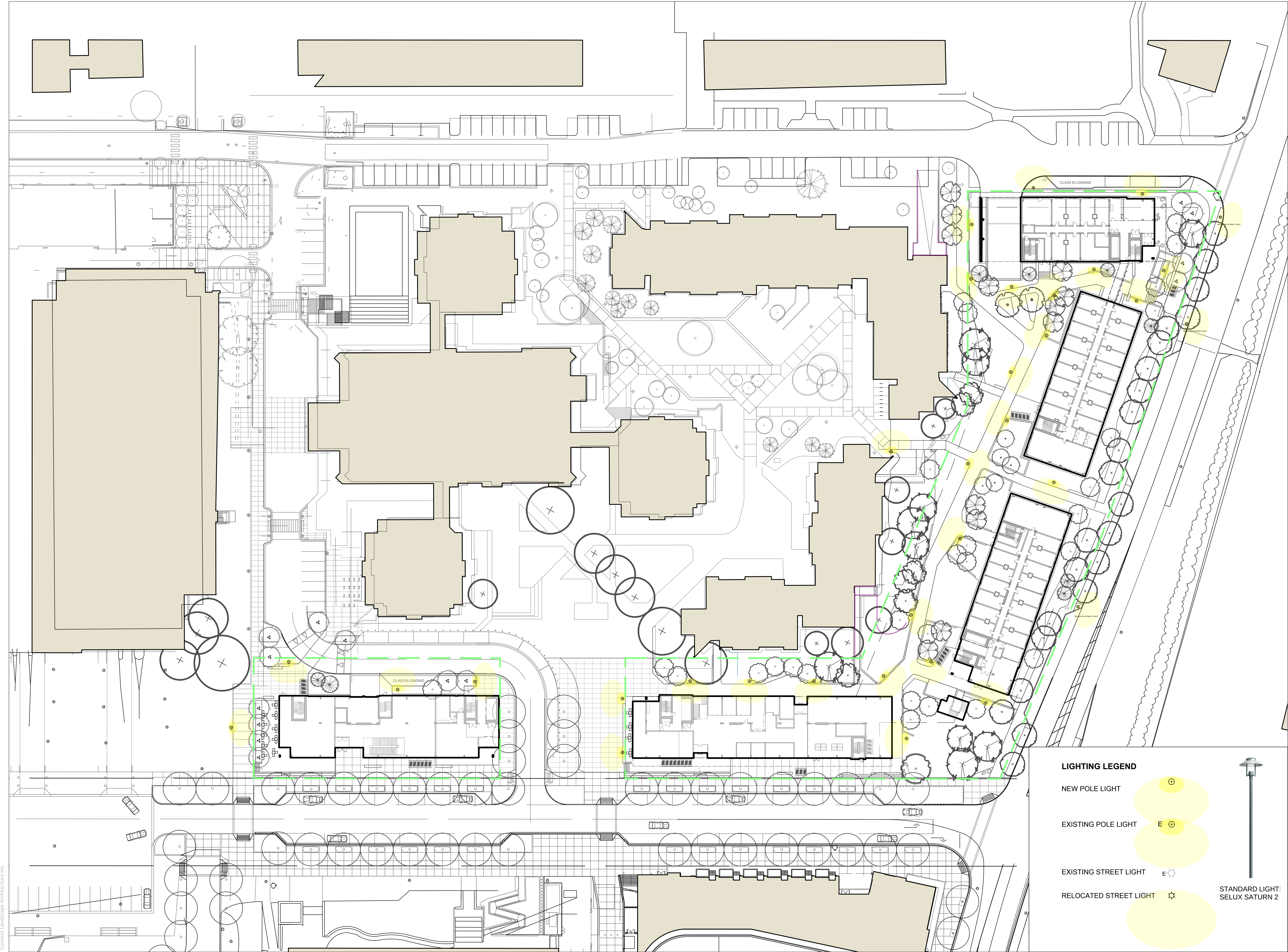
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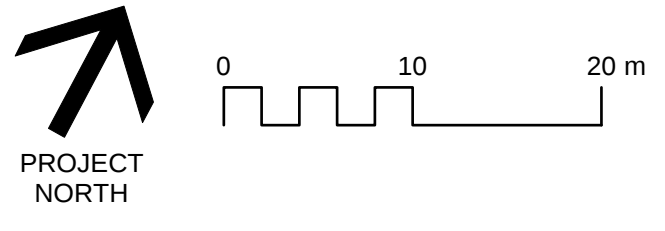
Project No. 06-627

LANDSCAPE PLANT MATERIALS



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REVISIONS

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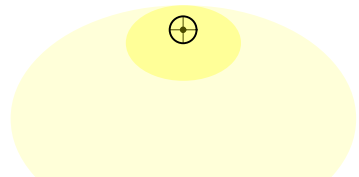
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Vancouver, BC, V6T 2C9

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Reviewed:	DS
Project No.	06-627

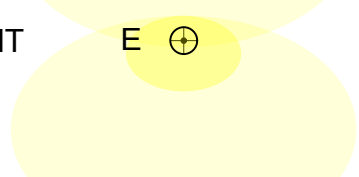
LANDSCAPE LIGHTING
CONCEPT

LIGHTING LEGEND

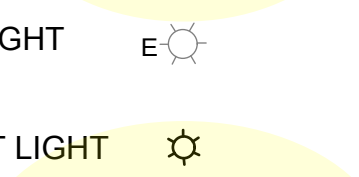
NEW POLE LIGHT



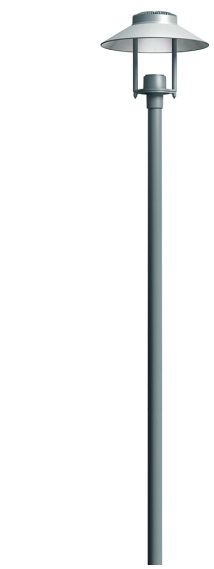
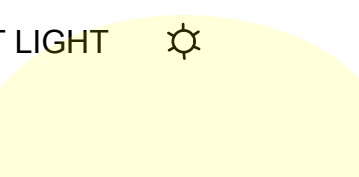
EXISTING POLE LIGHT



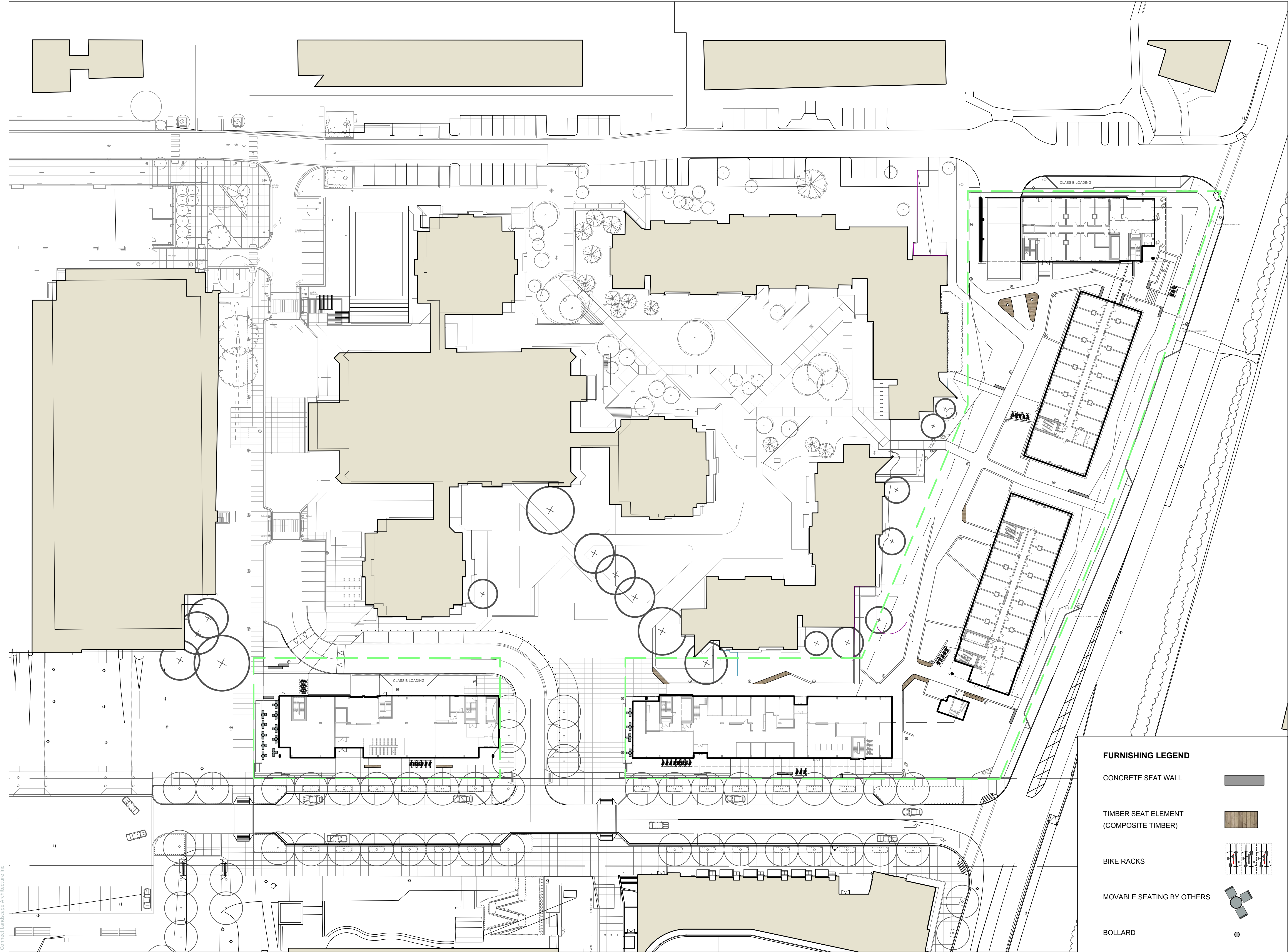
EXISTING STREET LIGHT



RELOCATED STREET LIGHT

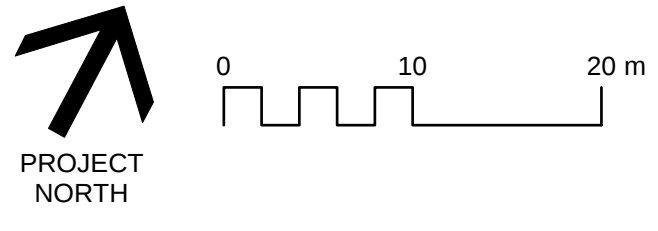


STANDARD LIGHT:
SELUX SATURN 2



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REVISIONS

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RESIDENCE

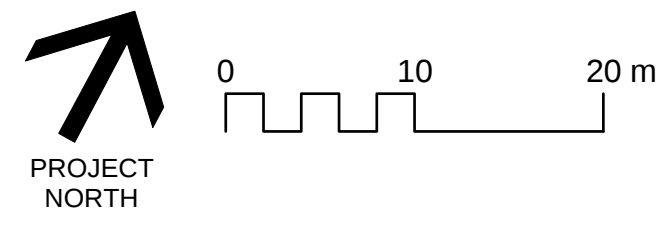
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Scale:	1:400
Drawn:	DS
Reviewed:	DS
Project No.	06-627

LANDSCAPE LIGHTING
CONCEPT

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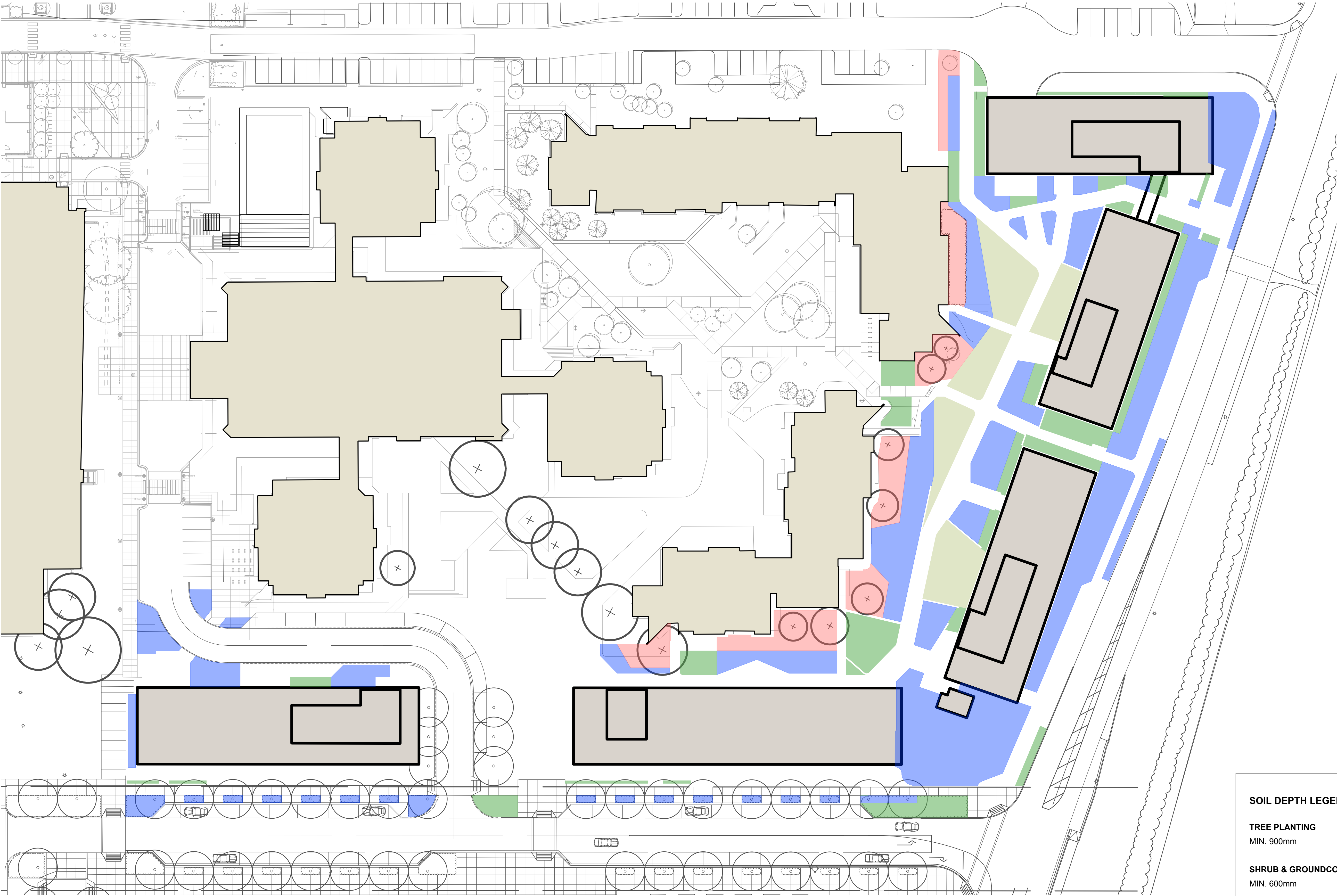
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SOIL DEPTH
DIAGRAM

L4.3



SOIL DEPTH LEGEND

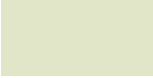
TREE PLANTING
MIN. 900mm



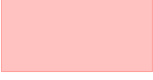
SHRUB & GROUNDCOVERS
MIN. 600mm



SOD LAWN
MIN. 450mm

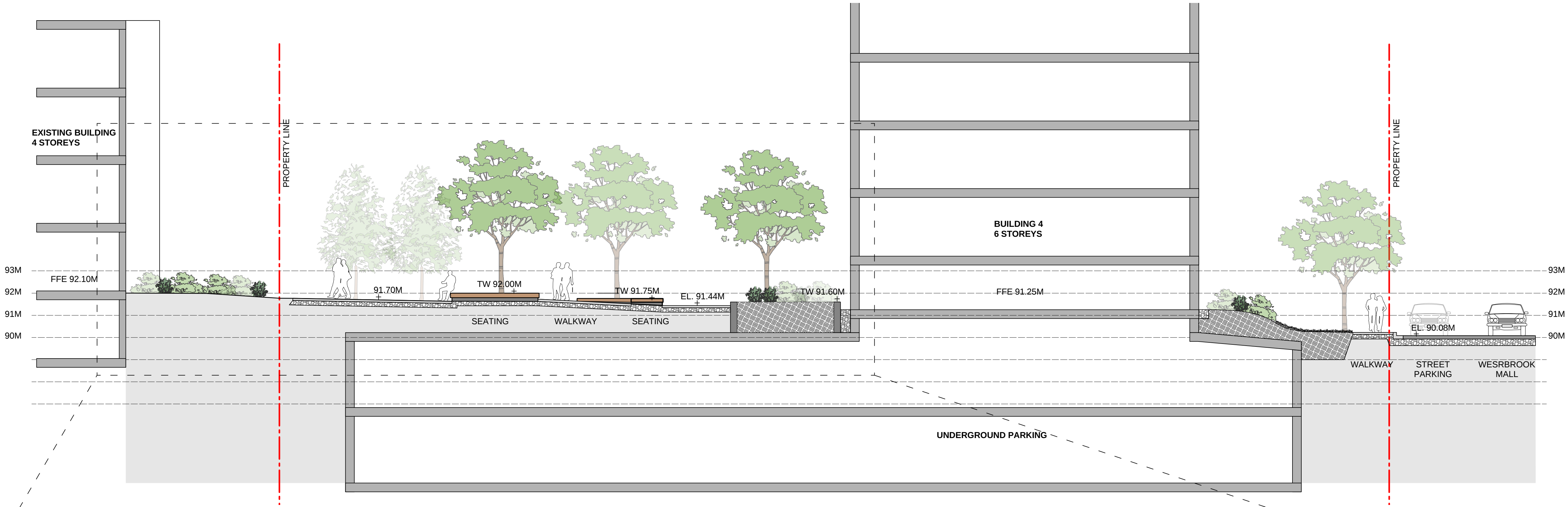
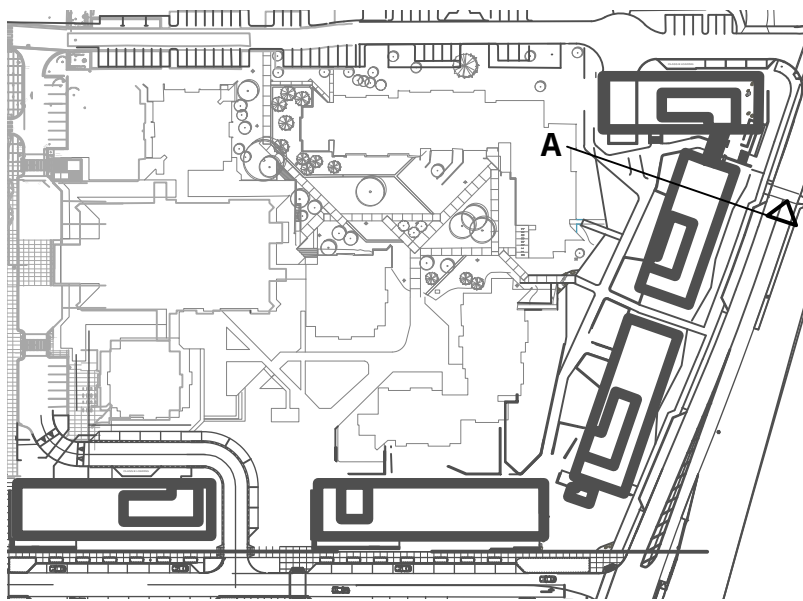


TREE RETENTION
NO DISTURBANCE OR
POCKET PLANTING

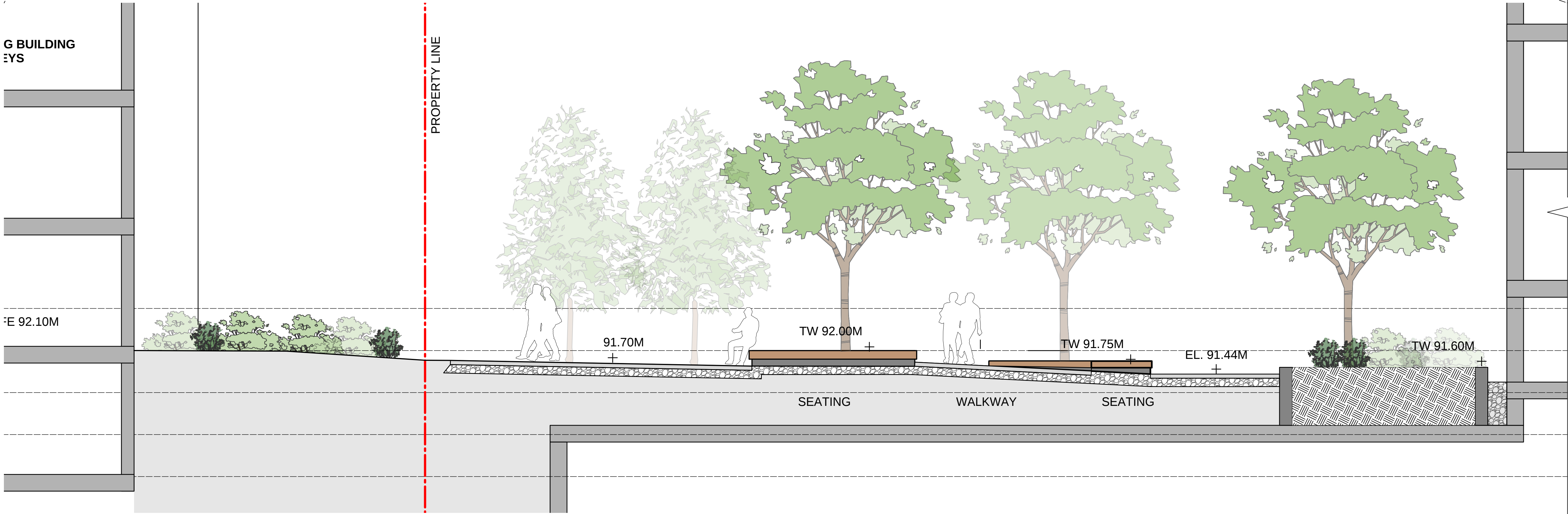


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SECTION A



PARTIAL SECTION A - 1:50

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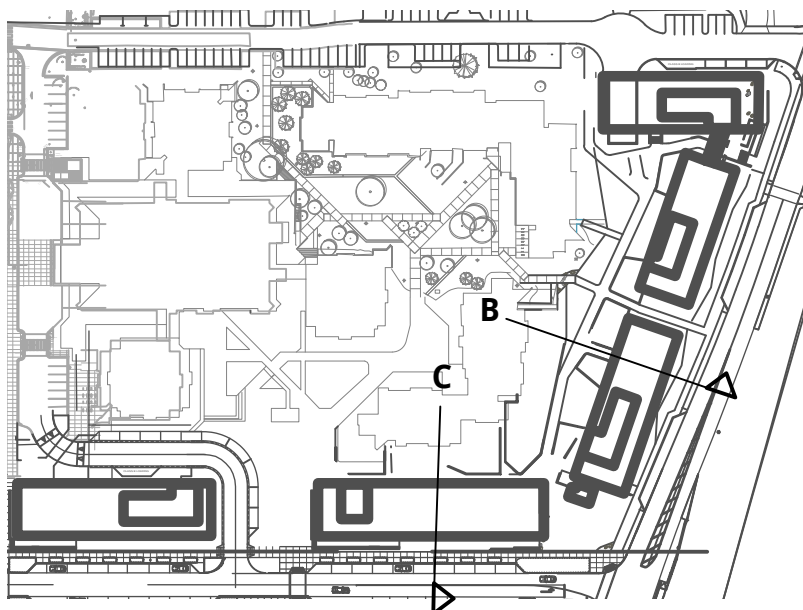
Student Union Blvd
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Scale:	1:100
Drawn:	DS
Reviewed:	DS
Project No.	06-627

LANDSCAPE
SECTIONS

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REVISIONS

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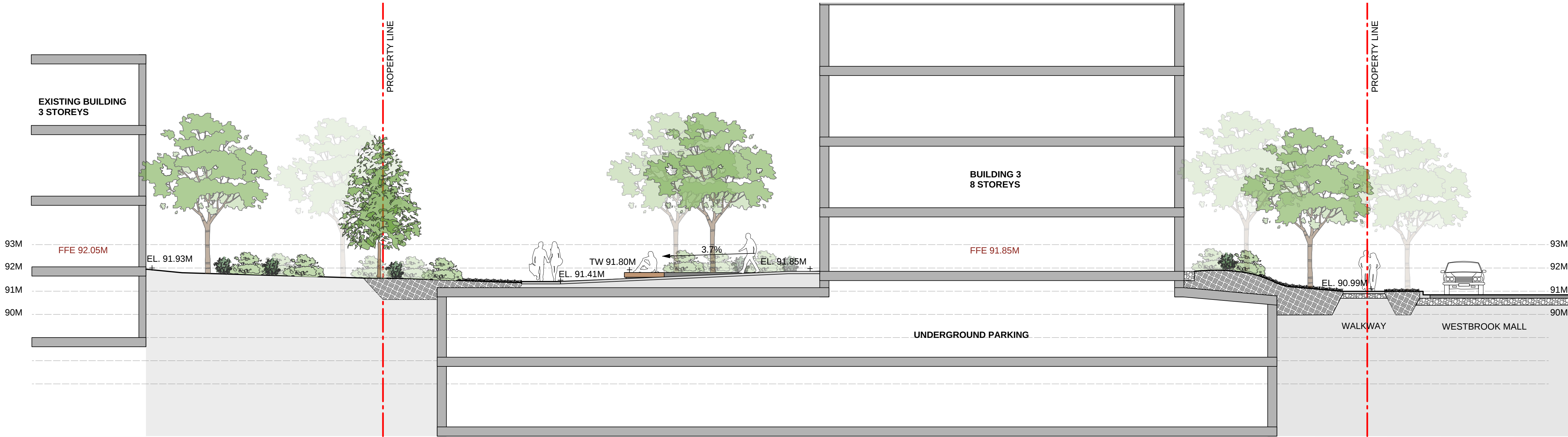
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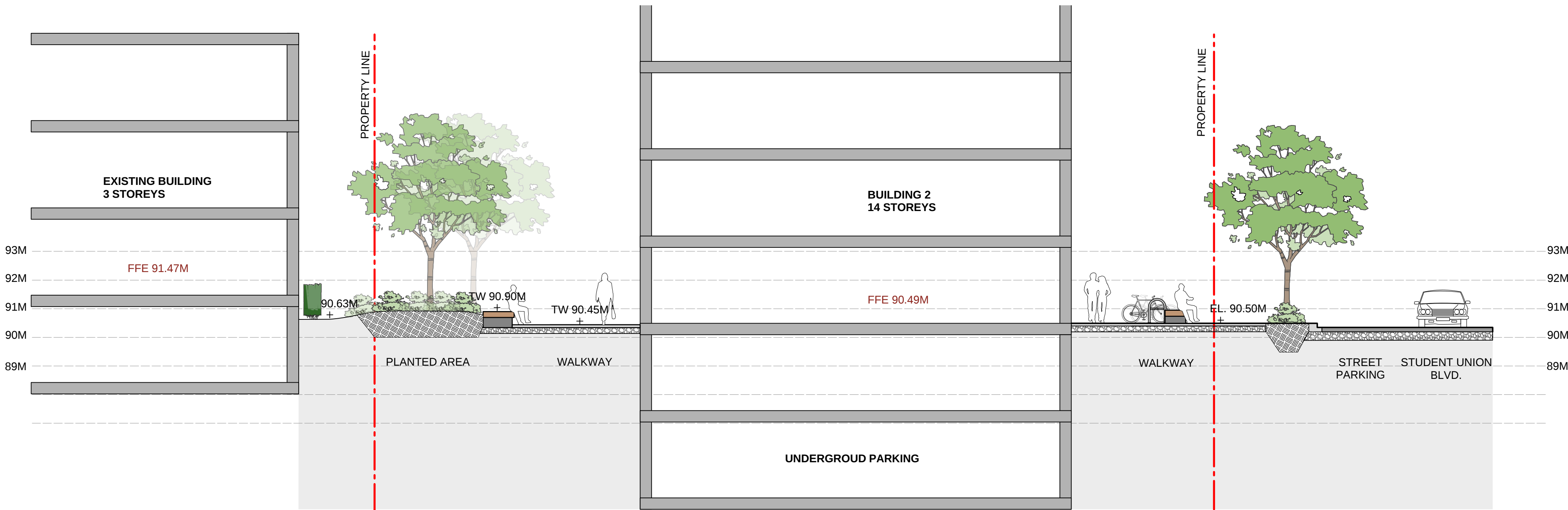
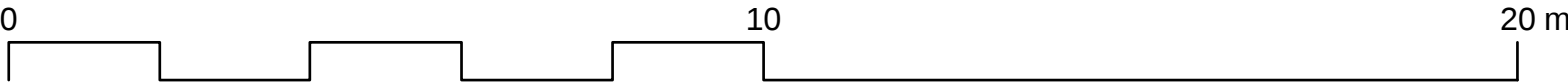
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Project No.	06-627

LANDSCAPE
SECTIONS

L5.2



SECTION B



SECTION C



REVISIONS

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Scale: AS SHOWN

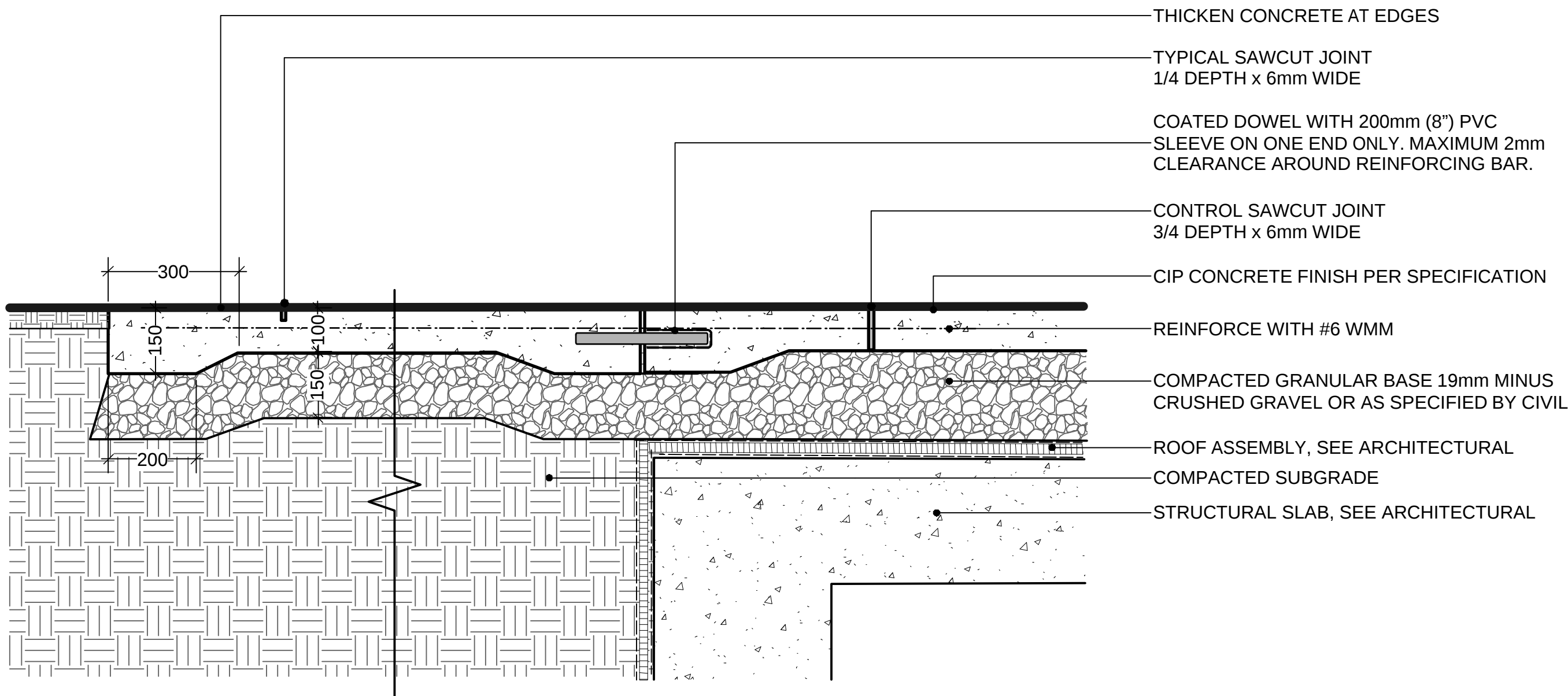
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Project No. 06-627

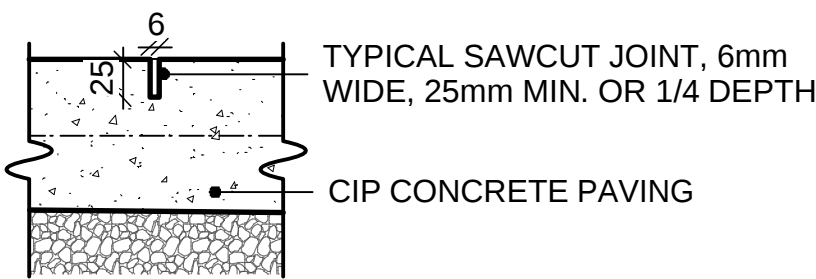
L6.0

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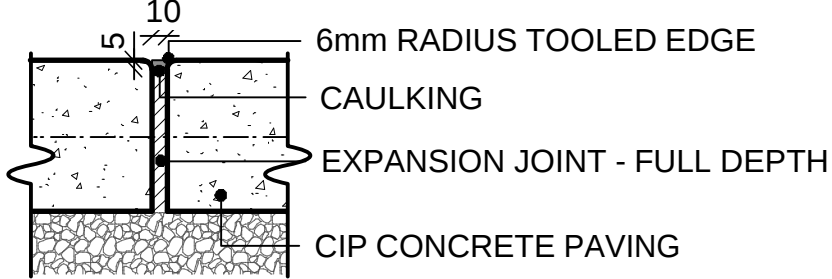
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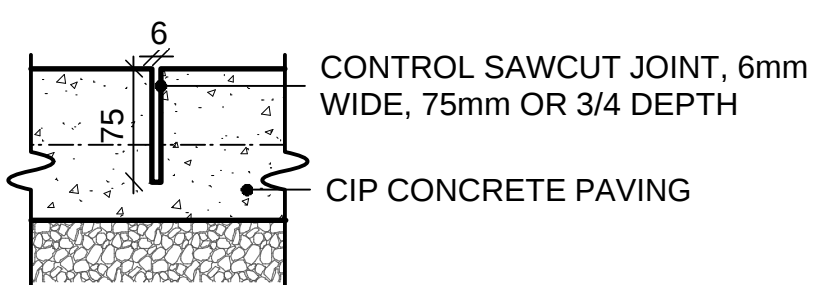
1 CIP CONCRETE ON GRADE / ON SLAB, TYP.
Scale: 1:10



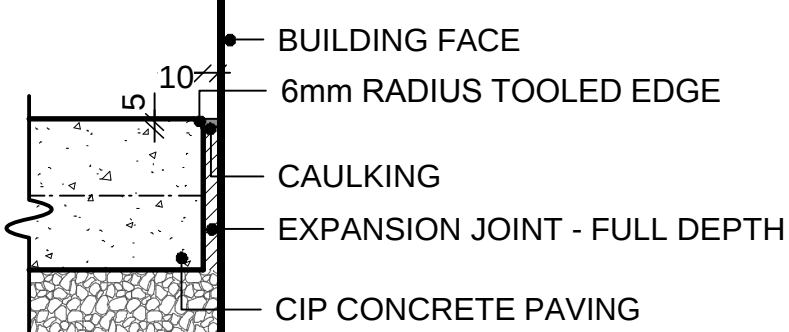
A. TYPICAL SAWCUT JOINT



C. EXPANSION JOINT PAVING TO PAVING

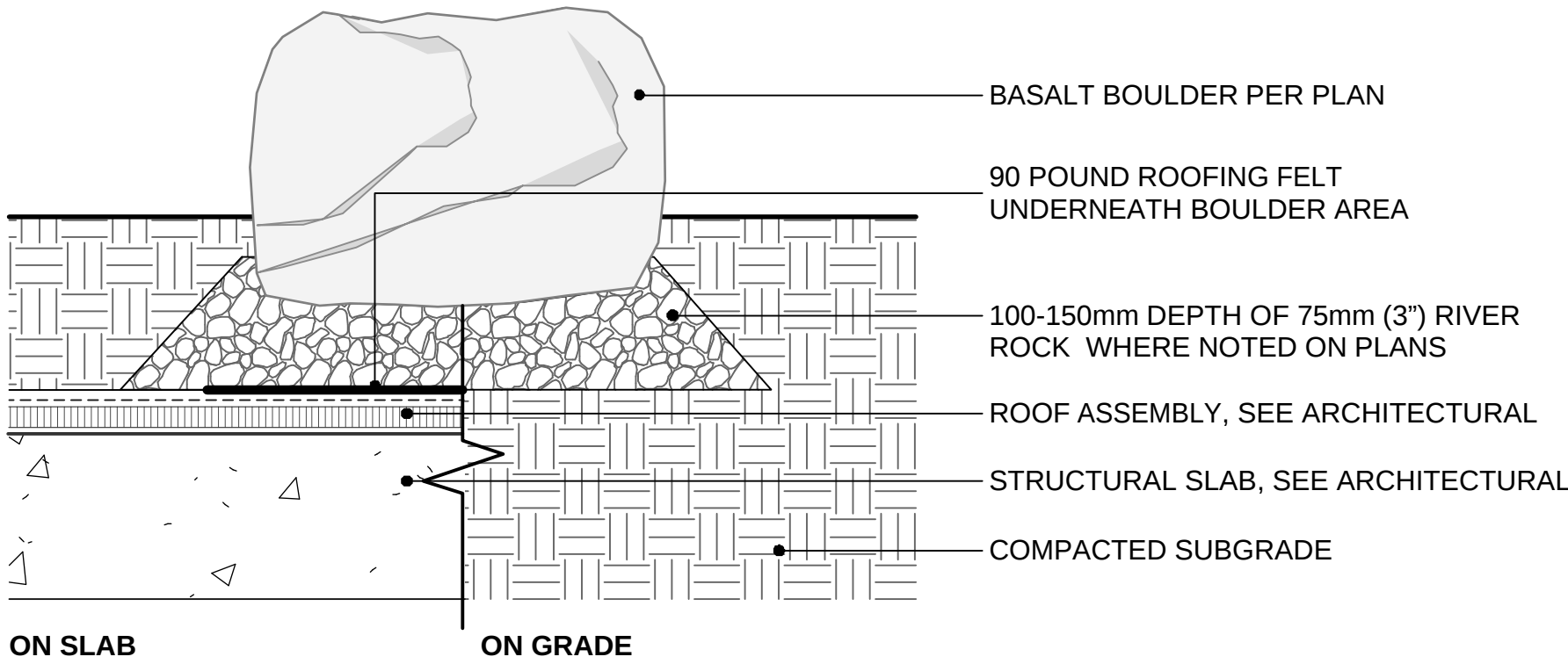


B. CONTROL SAWCUT JOINT



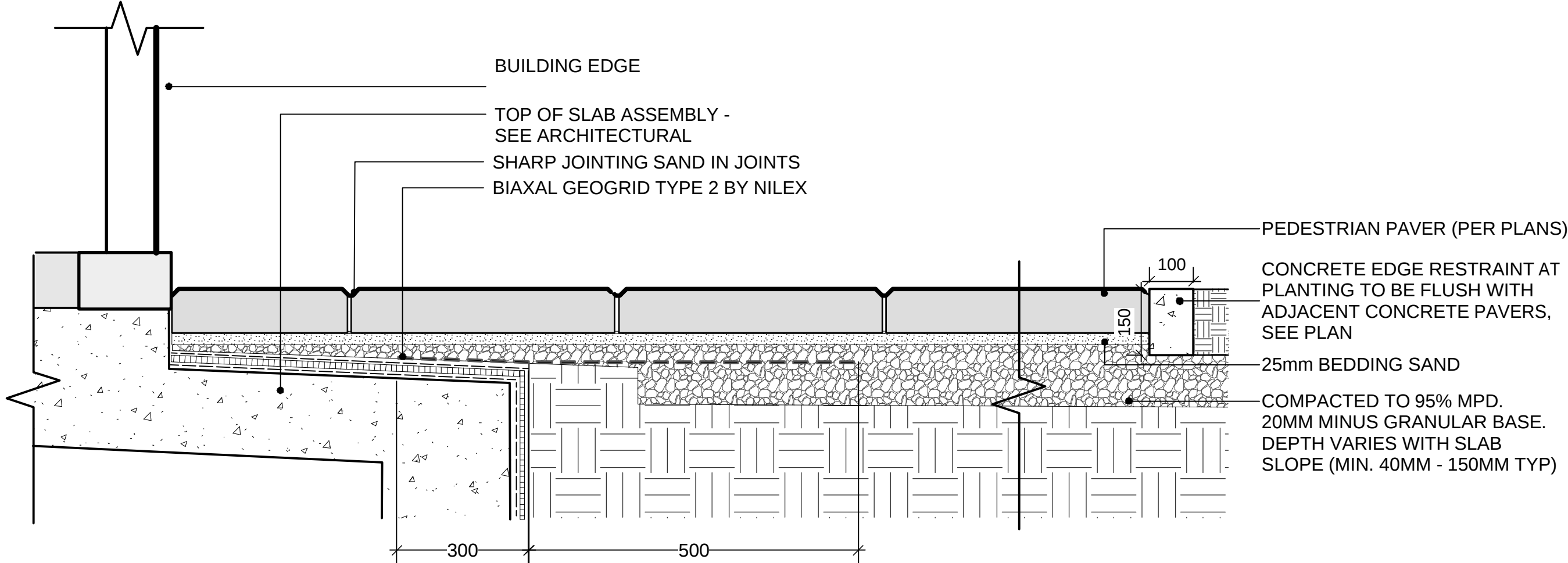
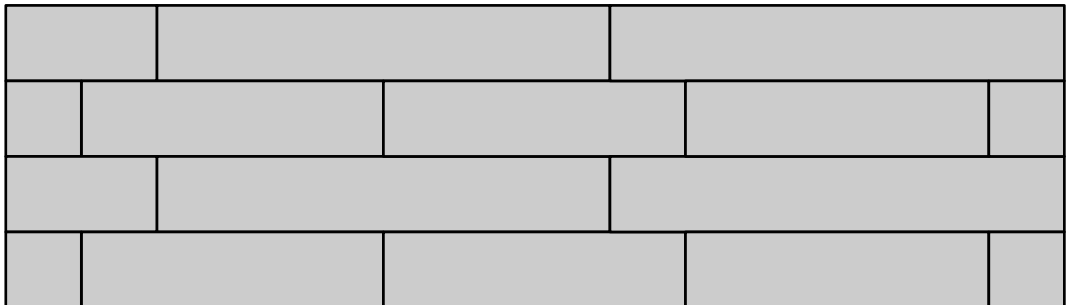
D. EXPANSION JOINT PAVING TO BUILDING FACE

3 CIP CONCRETE PAVING JOINTS, TYP.
Scale: 1:5

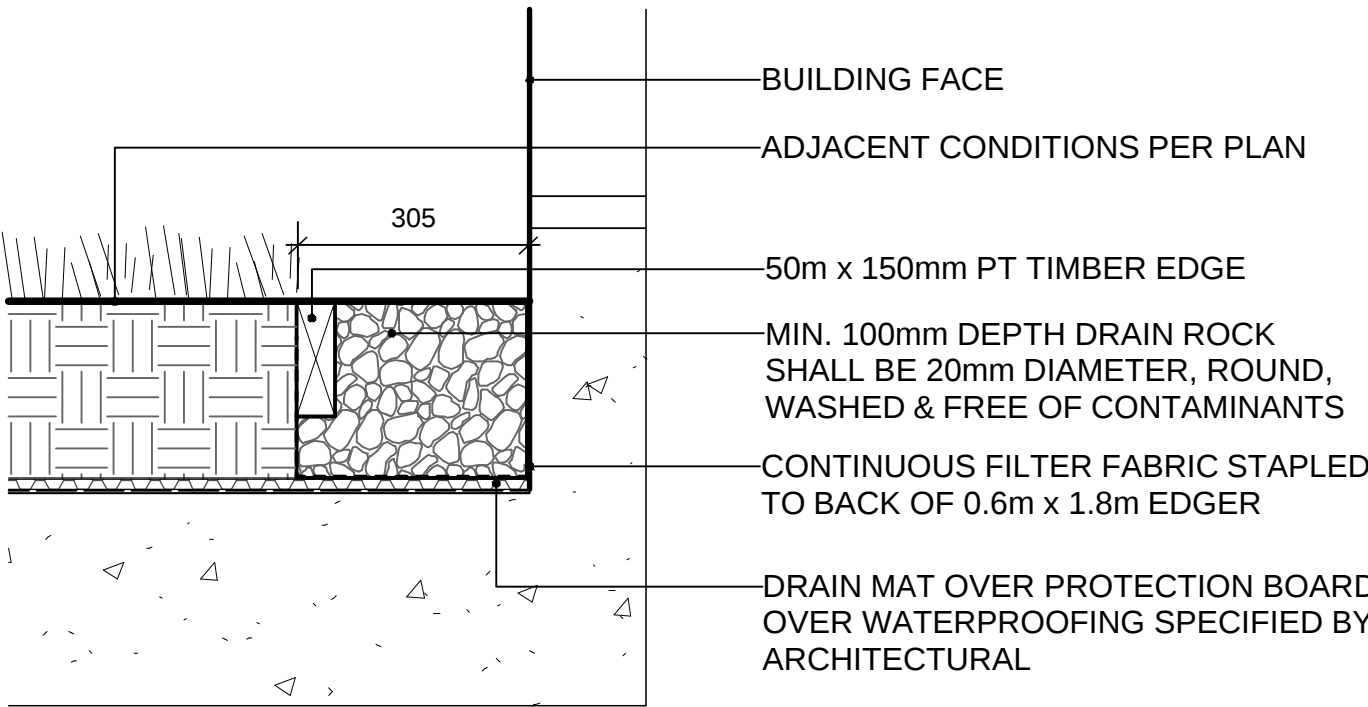


5 BASALT BOULDER
Scale: 1:10

AMENITY AREAS
PIAZZA SERIES
BY ABBOTSFORD CONCRETE PRODUCTS
COLOUR: CHARCOAL
PATTERN: OFFSET RUNNER BOND
THICKNESS: 100mm
TYPE 1: 600mm x 100mm
TYPE 2: 400mm x 100mm



2 PEDESTRIAN PAVER ON GRADE / ON SLAB, TYP.
Scale: 1:10



4 GRAVEL DRAIN STRIP - ON SLAB
Scale: 1:10

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REVISIONS

UBC PROPERTIES TRUST

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Scale: AS SHOWN

Drawn: DS

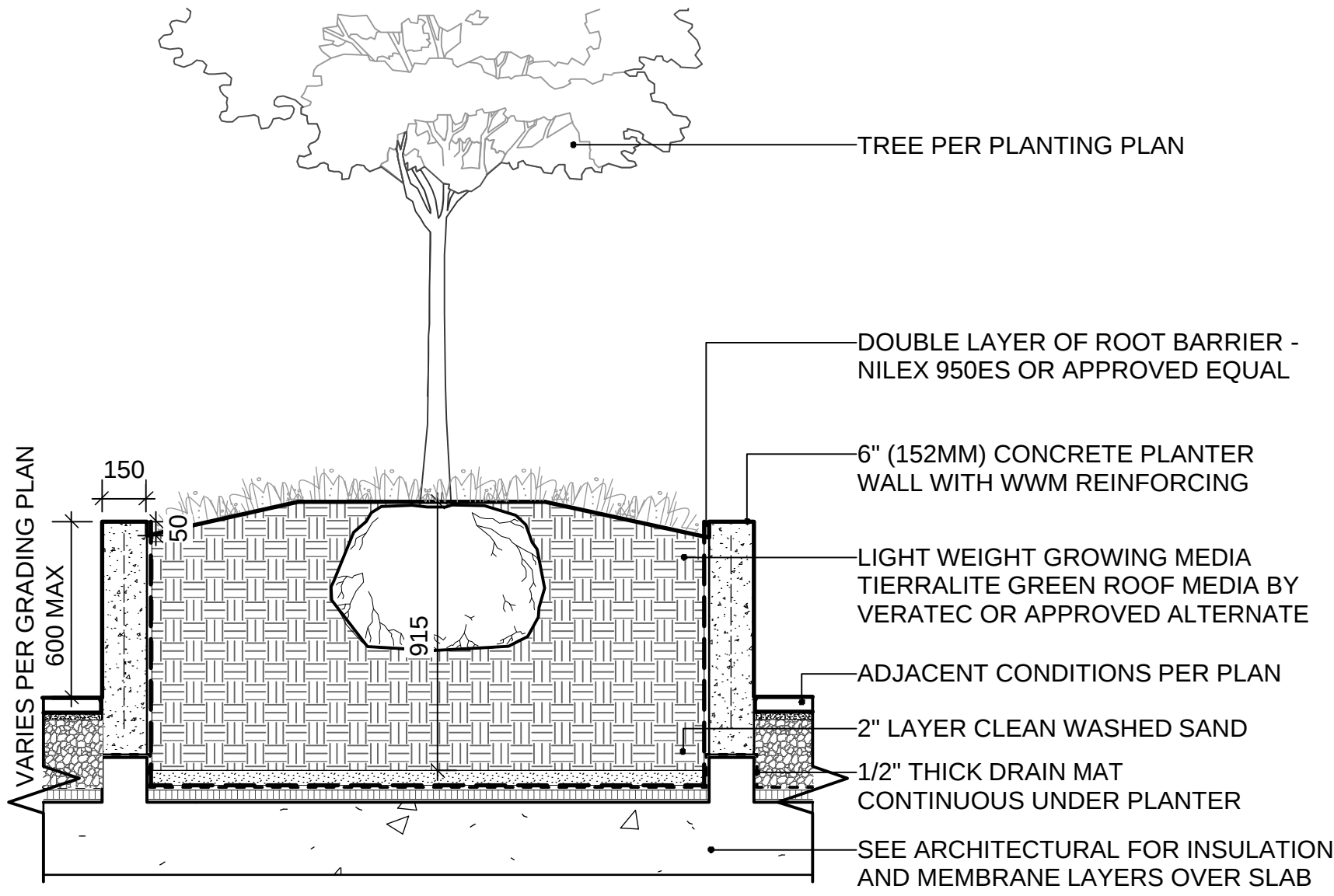
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Project No. 06-627

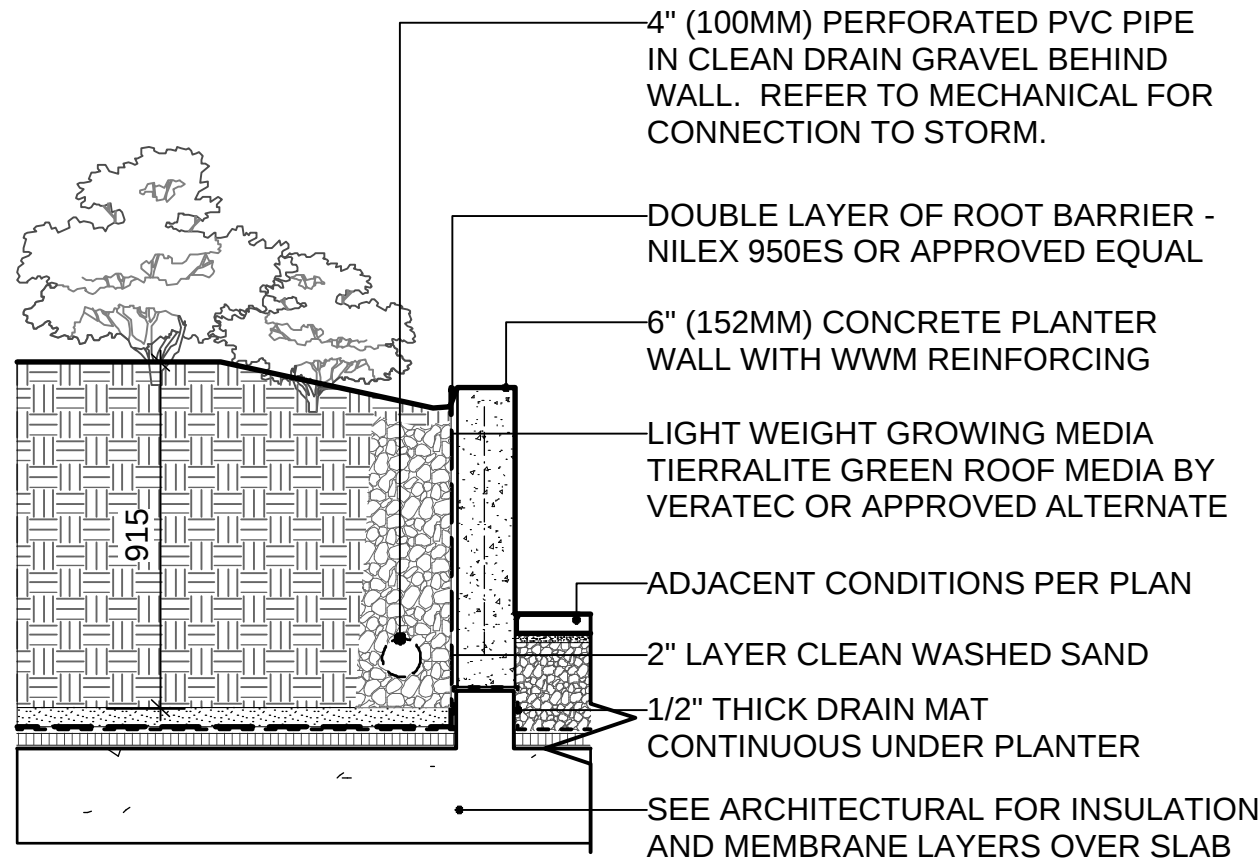
LANDSCAPE DETAILS
HARDSCAPE

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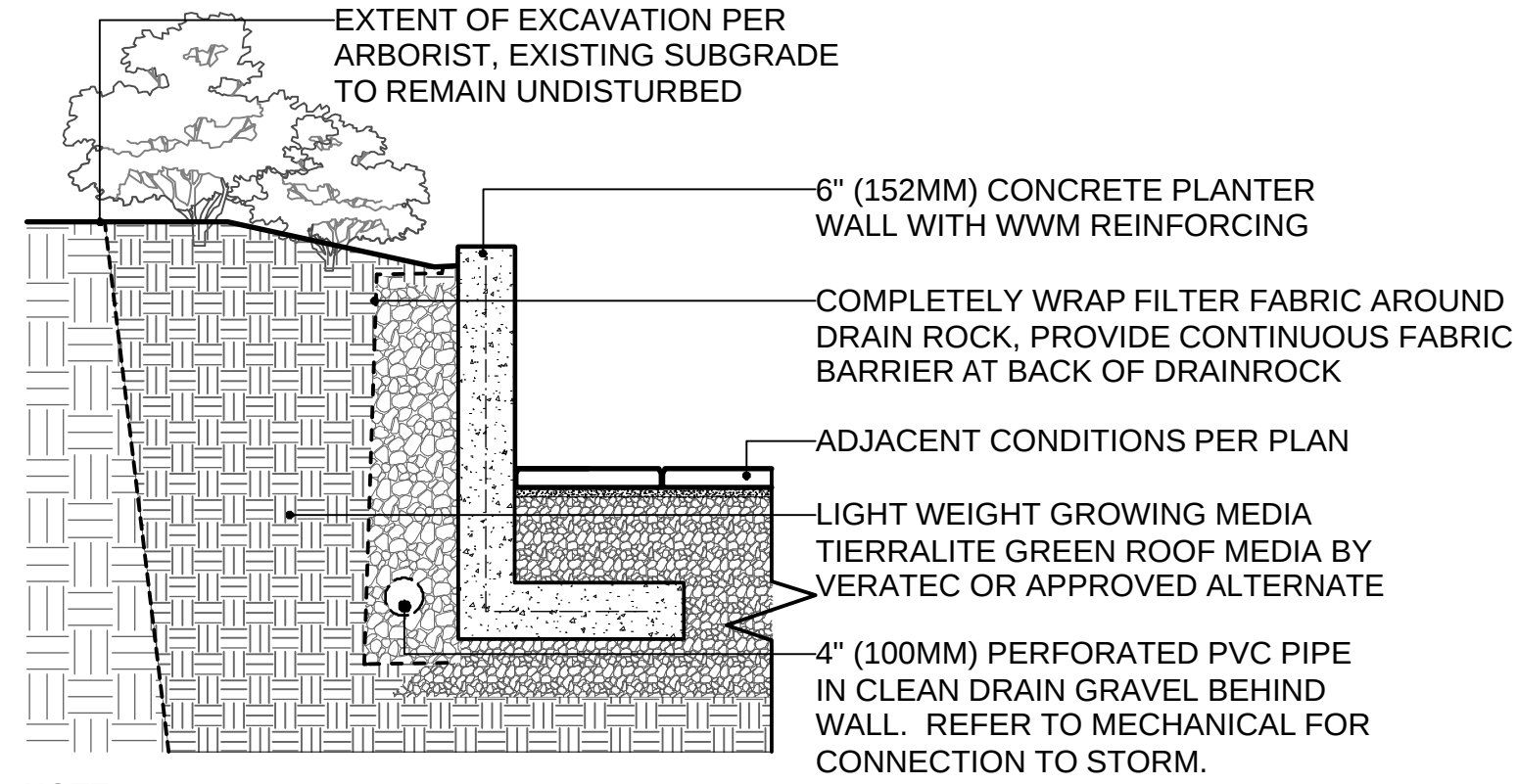


1 TYPICAL CIP PLANTER ON SLAB
Scale: 1:20



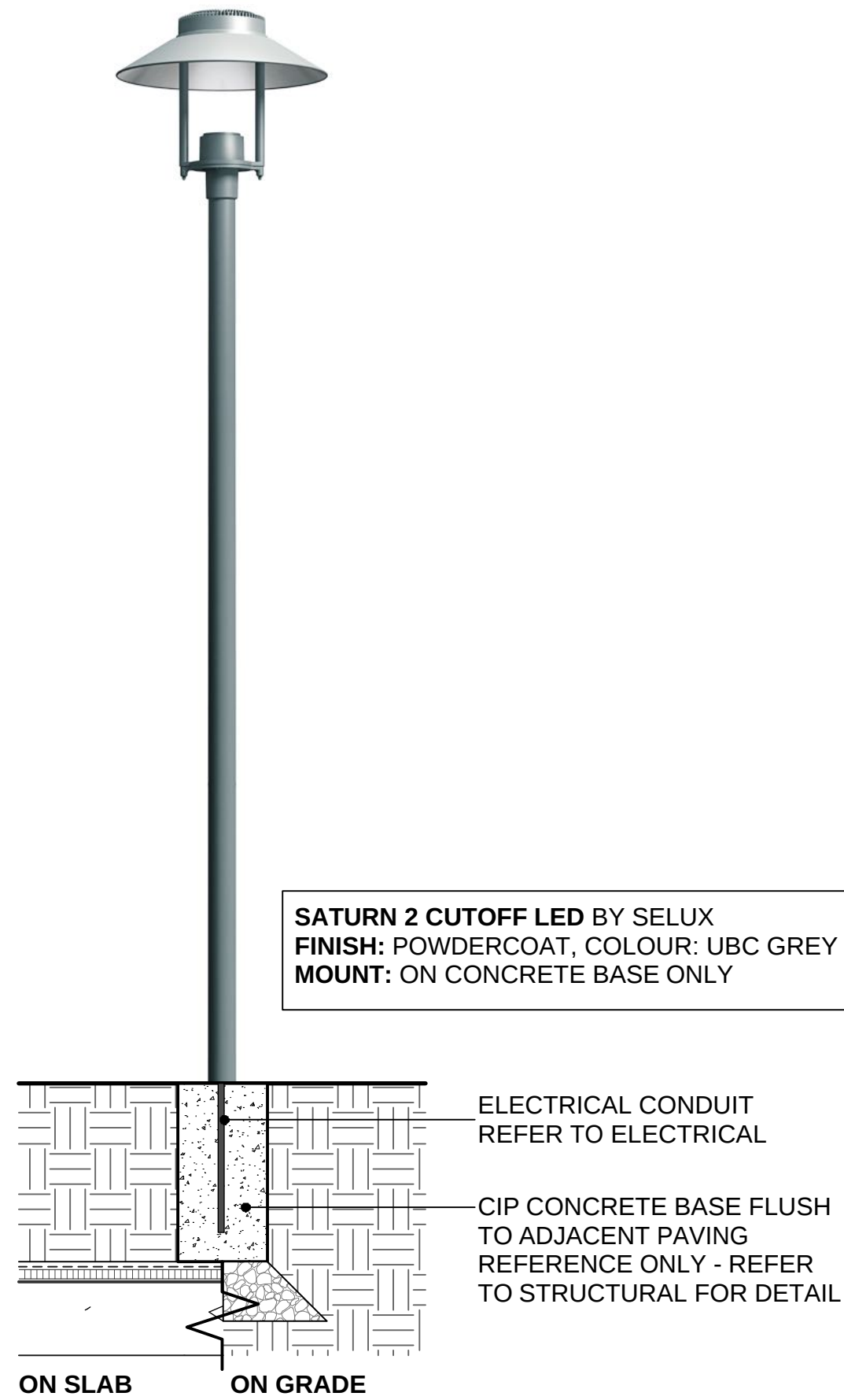
NOTE:
WALLS MAX 610MM HEIGHT.

2 TYPICAL CIP CONCRETE RETAINING ON SLAB
Scale: 1:20

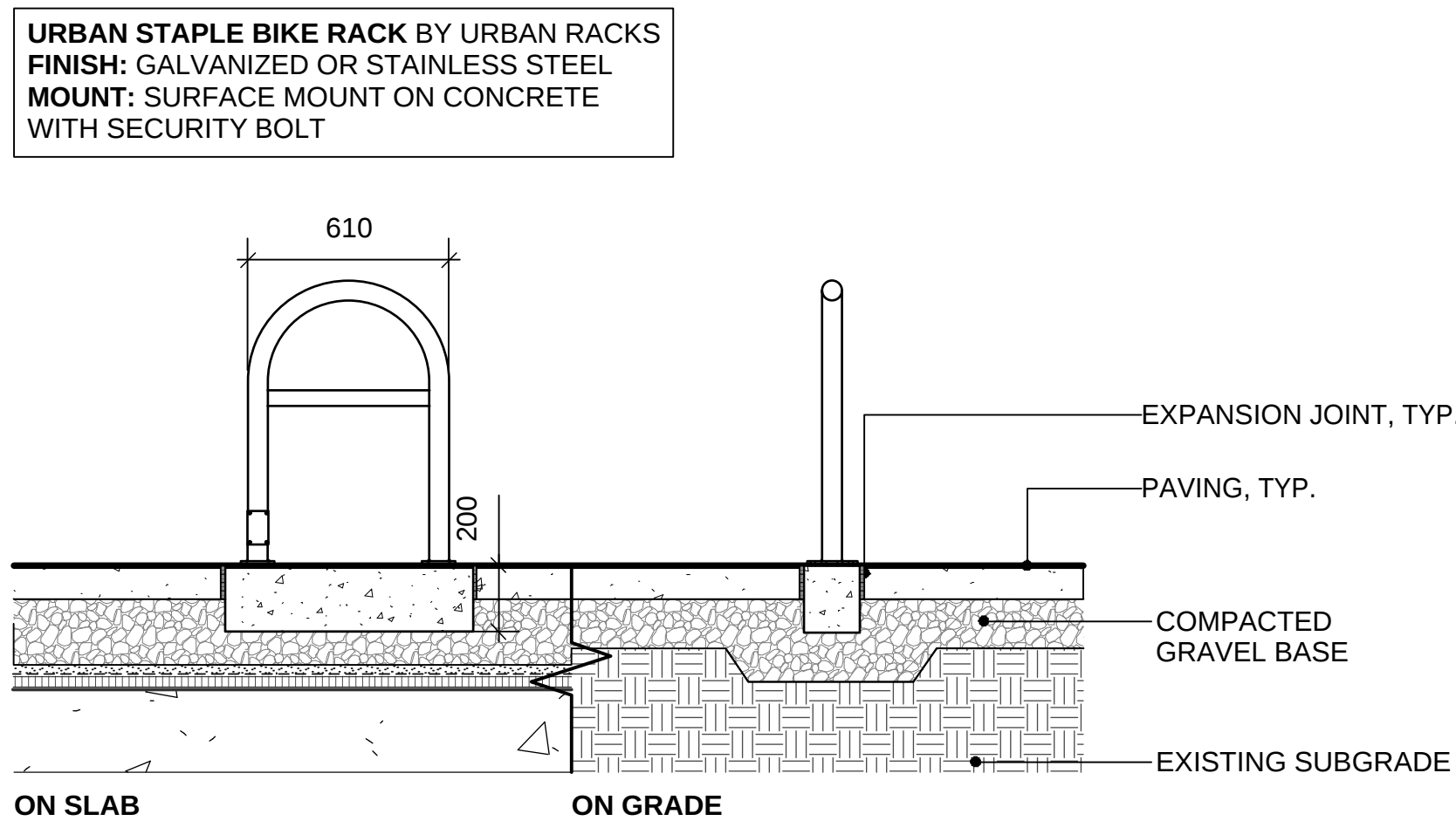


NOTE:
WALLS MAX 610MM HEIGHT.

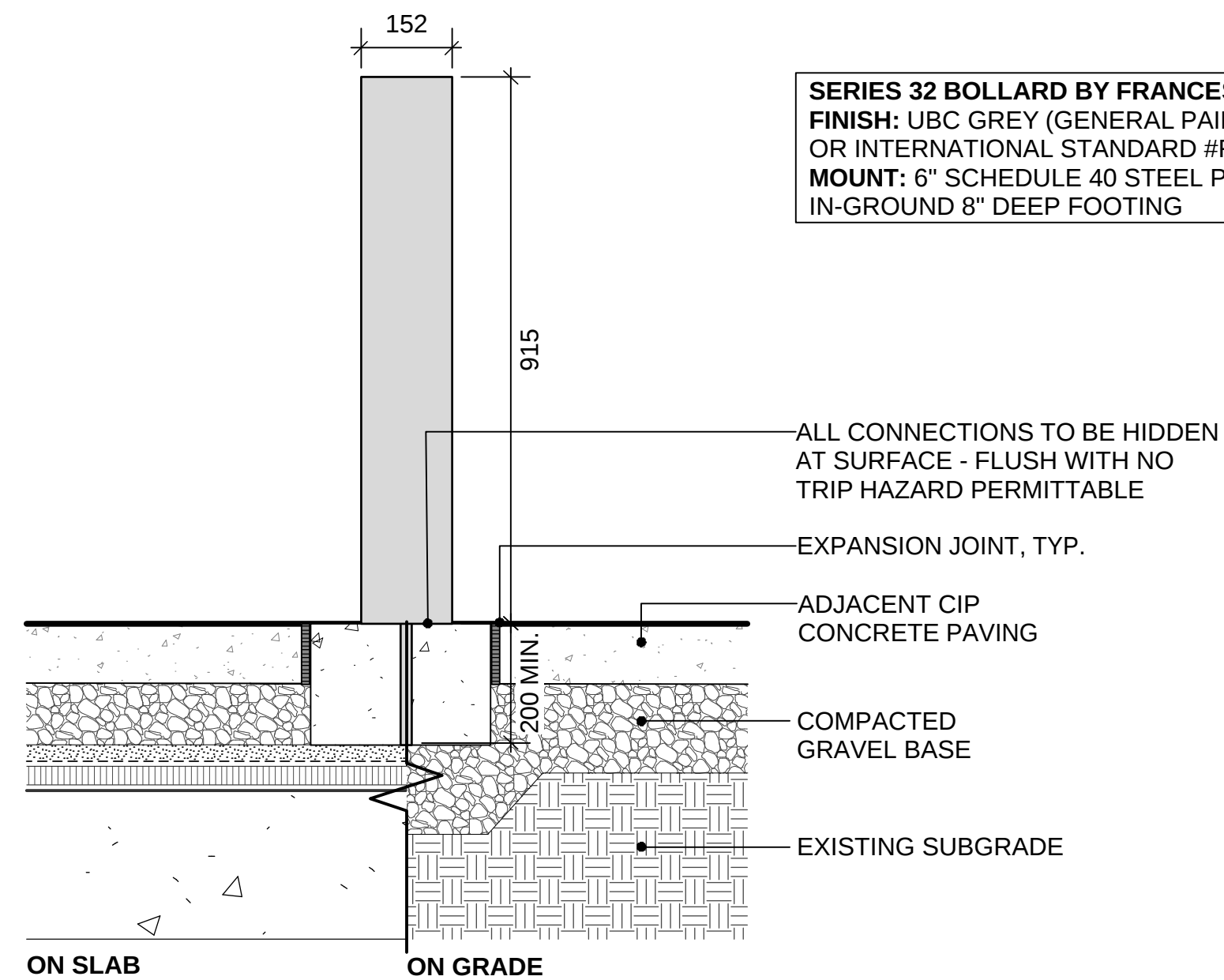
3 TYPICAL CIP CONCRETE RETAINING ON GRADE
Scale: 1:20



4 UBC STANDARD PEDESTRIAN LIGHT
Scale: 1:20



5 BIKE RACK
Scale: 1:20



6 PEDESTRIAN BOLLARD
Scale: 1:10

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REVISIONS

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UBC PACIFIC
RESIDENCE

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Scale: AS SHOWN

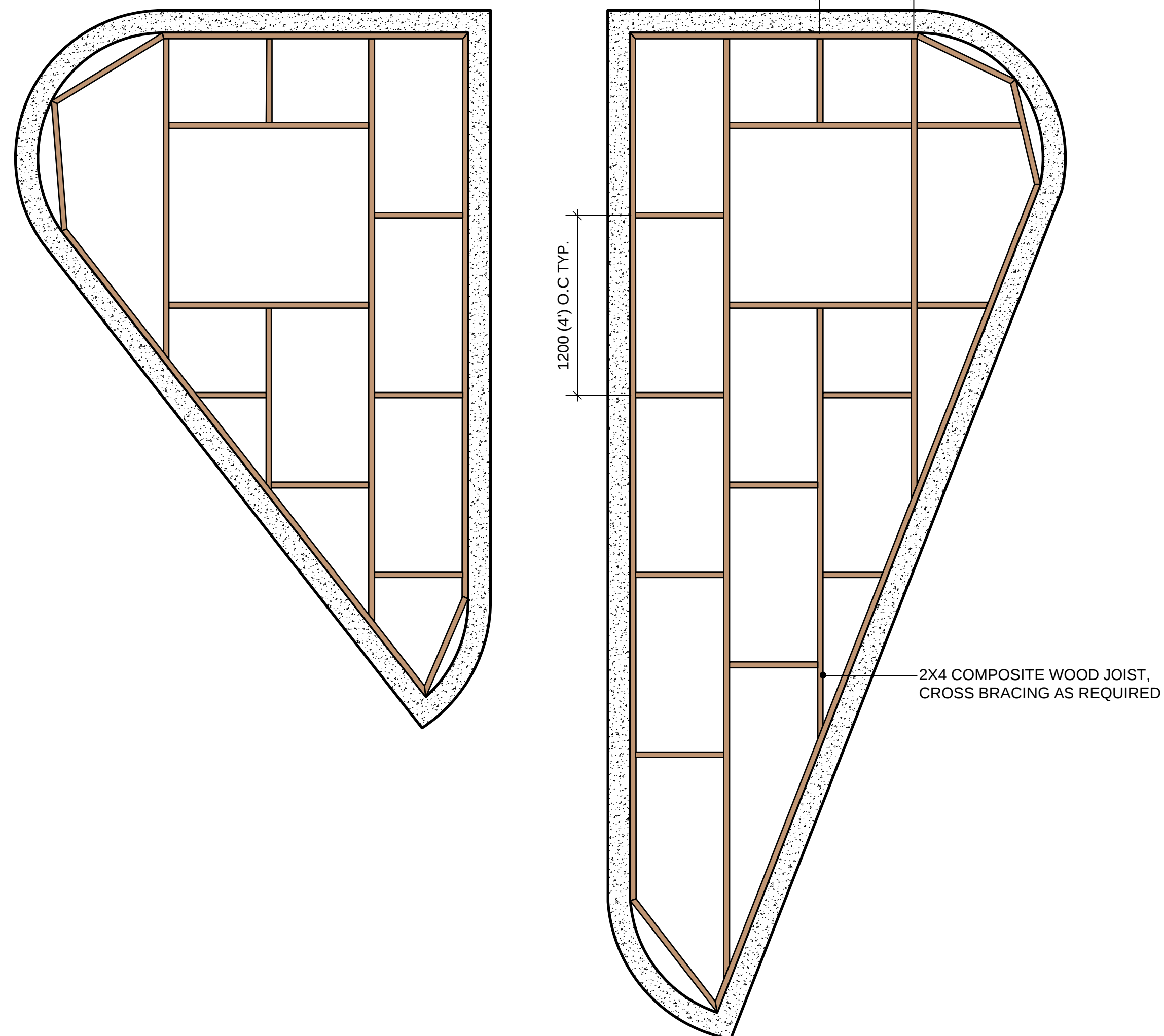
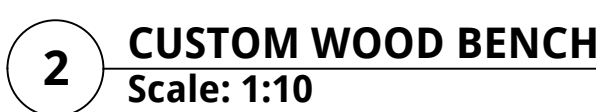
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Reviewed: DS

Project No. 06-627

LANDSCAPE DETAILS
FURNISHINGS

L6.2



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LANDSCAPE DETAILS
CUSTOM FURNISHINGS